

MELROSE PARK

STAGE 2 - LOT AA

LANDSCAPE DEVELOPMENT APPLICATION REPORT

PREPARED BY



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PROJECT DETAILS

Lot AD, 657-661 Victoria Road
4-6 Wharf Road
Melrose Park NSW 2114
Project Number: 1705
Issue: E
Date: July 2018

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INTRODUCTION

DESIGN STATEMENT

Lot AA forms an important new place at Melrose Park; a residential community diverse in its offerings. Flexible spaces for living, for learning, for play, or to just simply, 'be'.

OUTDOOR SPACES

The communal open space is for the enjoyment of residents and visitors alike. The communal space provides a variety of opportunities for activation including a weather protected BBQ and entertainment pavilion with seating allowing residents & guests to socialise outside their four walls. Adjacent to this area is a large, open lawn for children to play independently under the watchful eyes of their loved ones. Universally accessible pathways & ramps circulate around the key features of the communal space & offer easy access to areas within the wider development. The Communal Open space accommodates multiple groups simultaneously; by providing a variety of areas, nodes and moments within the landscape. The landscape encourages social interactions, inclusiveness, safety, health and wellbeing.

PLANTING DESIGN

Holistically, the site seeks to reference the landscape of its local environment; through considered planting palettes of predominantly endemic and native species, the design will enhance existing biodiversity of the area and support healthy habitat growth.

Planting aims to complement vertical building scale and forms, enhance privacy, provide a presence of lush greenery to the facades, and offer a rich communal landscape setting.

A high-quality communal space is reflected through a lush planting palette of interesting foliage and seasonal colour; complementing the surrounding, native palette. The design creates an oasis in between its building; visually beautiful from upper balconies, yet safe and shaded for its users below.

The species palettes consist of species that perform well on structure, as well as a range of species including local native and exotic. These will be used to promote biodiversity and robustness within the planting scheme. Low-growing plant species will be located where appropriate to ensure clear desirable views and safe site lines.

Consideration has been given to the incorporation of low water demand and low maintenance plant species in all areas to reduce mains consumption and fertiliser contamination of drainage water. Especially in areas of mass planting for example the northern frontage to Victoria road & western landscape buffer to the future public open space.

The habit and form of canopy trees will provide a dappled filigree of light and shade providing environmental amelioration year round.

Planting on Level 6 & on the facade of building AA2 (South) provides a hanging landscape that softens & complements the edges of the built form. Providing green views for residents & guests of the development.

Deep soil areas will be maximised with the planting of large canopy trees; to moderate environmental conditions and mediate the building scale.

All planter boxes above structure have been designed to meet soil volumes and depths in accordance with NSW Planning and Environment Apartment Design Code.

Detailed planting plans have been included in this submission.

URBAN ELEMENTS

Elements such as paving, furniture, screening, fencing and lighting will be developed further during detailed design. Refer to detailed plans for proposed materials & finishes.

AMENITY

Solar access and natural ventilation have been maximised by selecting a variety of tree species to suit varying requirements throughout the site. Light-canopied trees have been nominated in close proximity to building facades.

Visual privacy has been addressed in the planting design. Screening plants provide sanctuary for each terrace located next to the communal open space. Shade amenity is created through small canopy trees in the landscape, as well as weather protected structures for gathering under. Deciduous tree plantings have been used within the communal space to encourage solar access & use during the winter months. When viewed from above, the communal open space provides seasonal interest with the changing colour and foliage.

ACCESSIBILITY

Universal access to AS1428 has been incorporated into communal spaces, connecting walkways, ramps and building entries without compromising design quality.

Gently graded pathways will provide accessibility for all age groups and degrees of mobility; ensuring that residents can access site amenities comfortably. Entries to building lobbies from NSR-2 will be highly legible from the street.

DRAINAGE

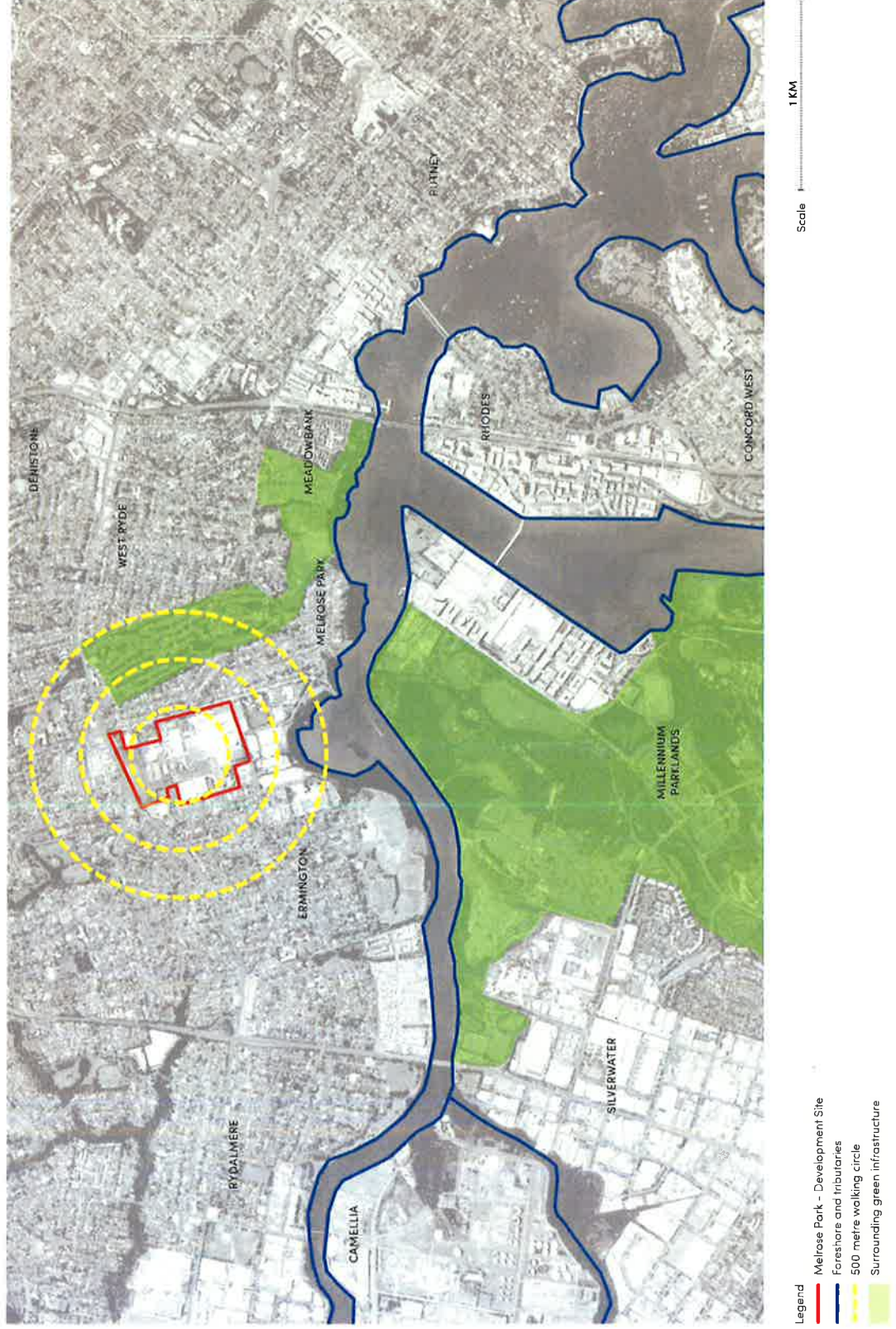
Drainage cell is specified to all soft landscape zones on structure. Design of the landscapes considers minimum freeboard requirements.

GROWING MEDIA

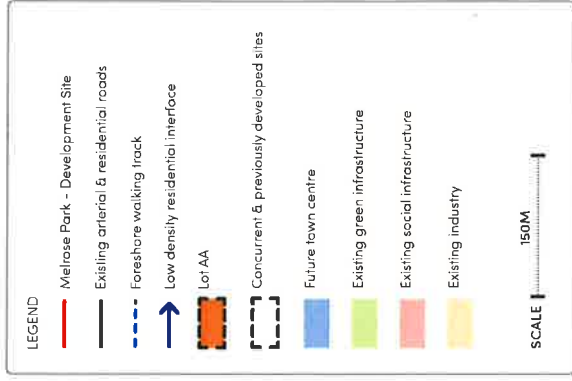
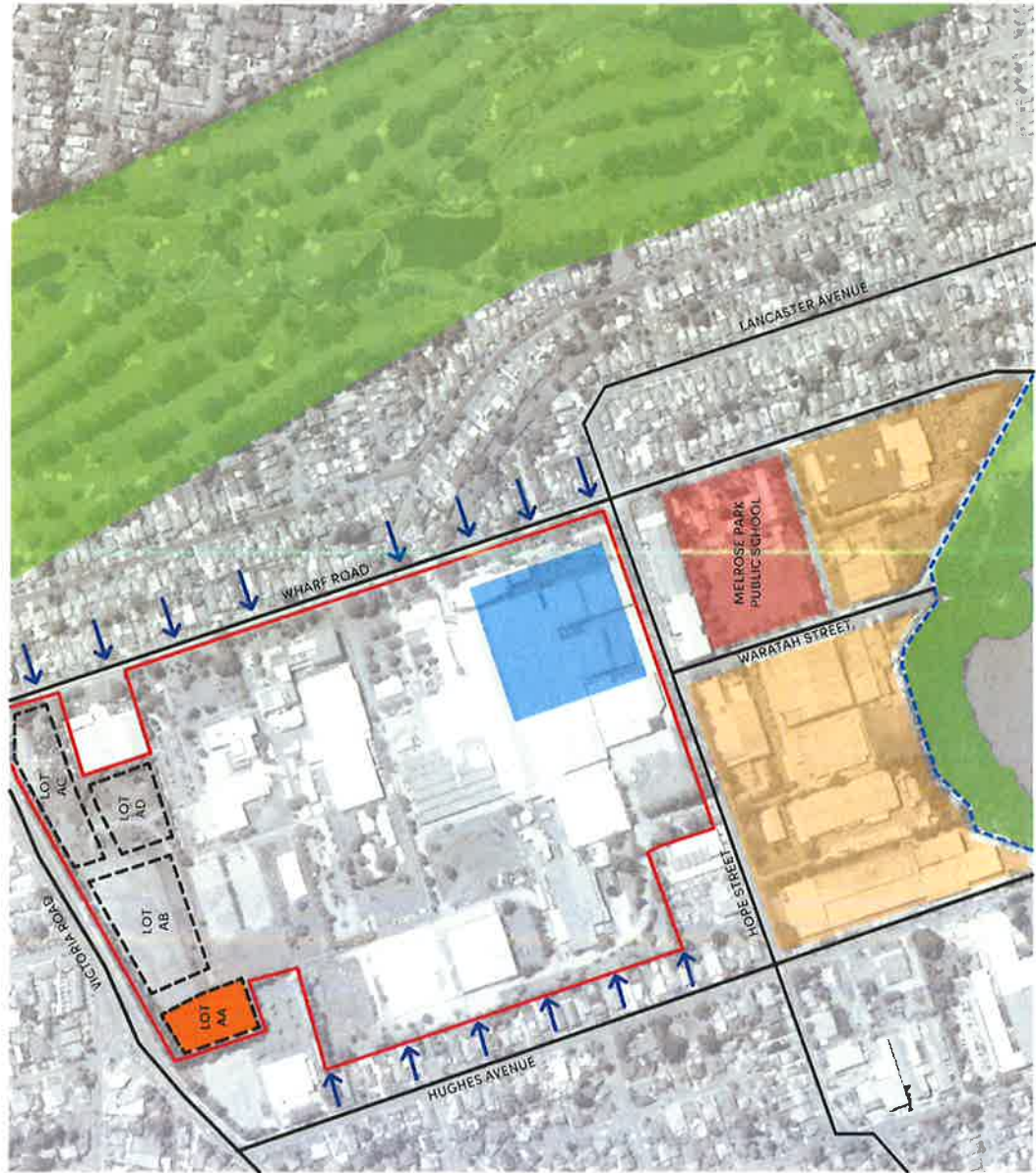
The planting will comprise a complementary mix of indigenous and exotic species. Soil types are specified on planting plans and in accordance with industry standard.

SITE ANALYSIS

CONTEXT



SITE ANALYSIS LOCALE



SITE ANALYSIS

EXISTING & FUTURE CONNECTIONS



SITE ANALYSIS

LOCAL CHARACTER



Views south from VRS site to Sydney CBD.

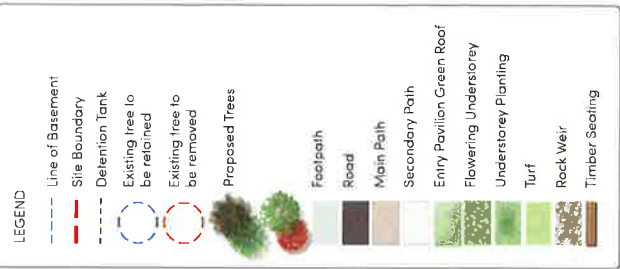


Natural condition at Ermington Boat Ramp along the Parramatta River.

GROUND FLOOR & UPPER LEVELS

GENERAL ARRANGEMENT PLAN

GROUND, STREETScape & SURROUNDS

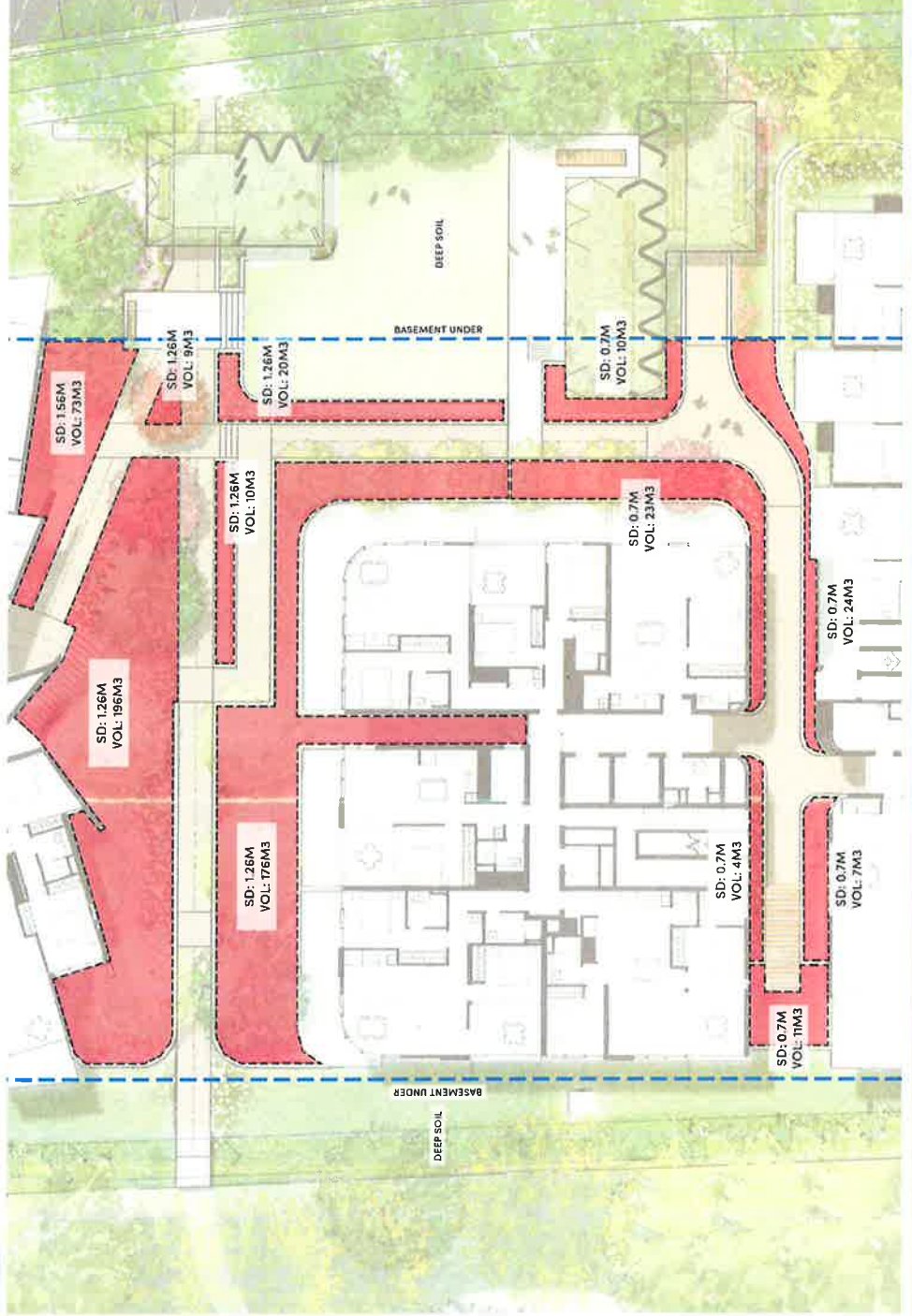


DEEP SOIL PLAN

GROUND FLOOR COMMUNAL OPEN SPACE



KEY:
SD: Soil depth over slab
VOL: Soil volume



KEY PLAN



Refer following page for Legend

Entry from Victoria Road to
future publicly accessible
open space

Existing trees to be retained on
Victorio Road embankment.
Refer Naturally Trees Arborist
Report dated 3 April 2018.

Existing trees to be removed on Victoria Road embankment.
Refer Naturally Trees Arborist Report dated 3 April 2018.

- Proposed rain garden: Rother engineering's plans for technical details. Planting species include:
 - *Carex appressa*
 - *Diarrhiza repens*
 - *Ficaria verna*
 - *Juncus uniflorus*
 - *Lemnastrum longifolium*
 - *Malvastrum coccineum*



Future accessible public open space to be returned to Council. Transmission lines to be relocated underground.



5
SCALE 1:250

DETAILED LANDSCAPE PLAN

GROUND FLOOR COMMUNAL OPEN SPACE

KEY PLAN



Planted swale. Refer Engineer's package for technical details. Refer landscape planting plans for planting species.

Seating nooks in landscape

Bridge over grassed swale to future public open space

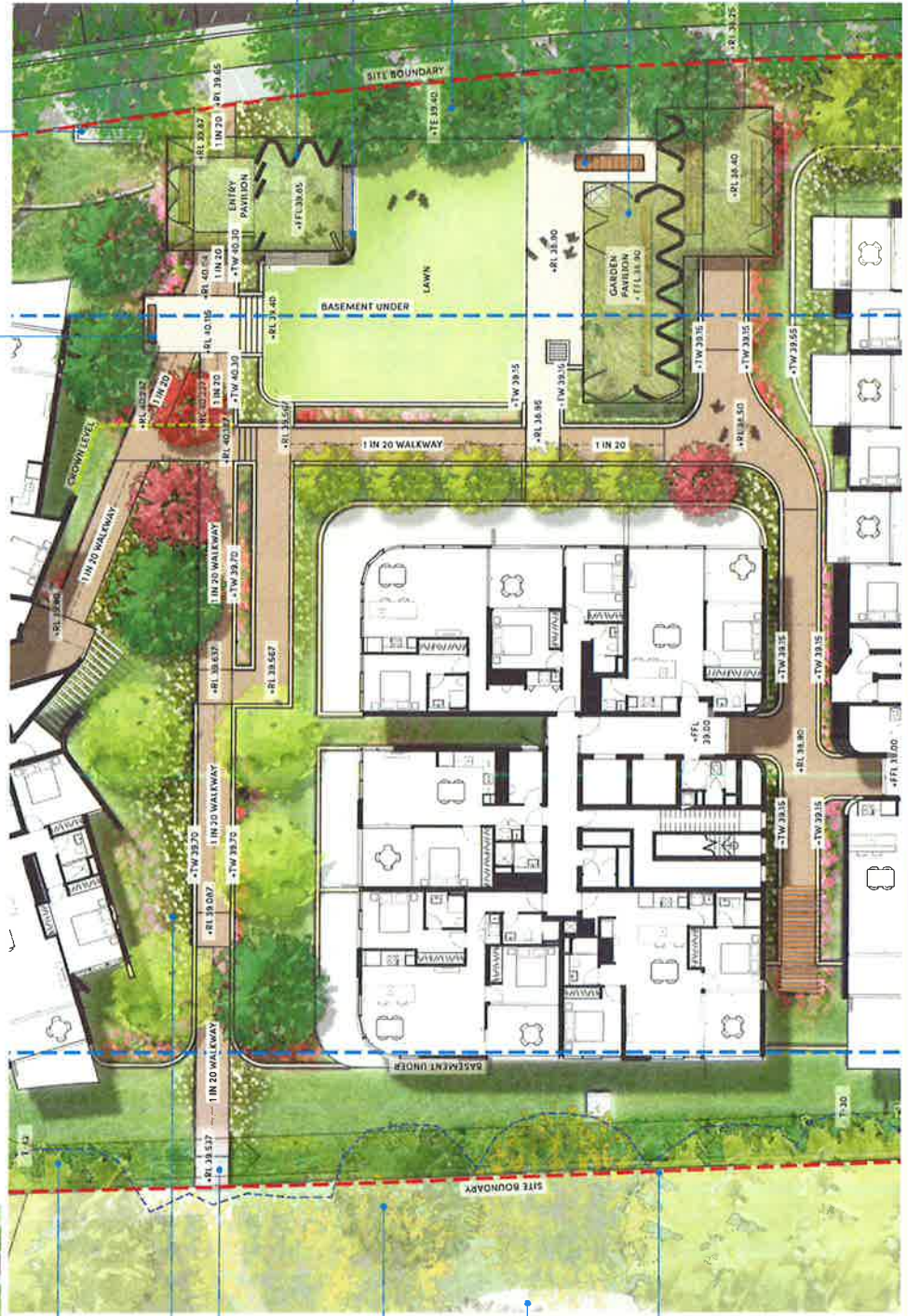
Existing canopy trees to be retained
T-41 - 30 shown.
Refer Naturally Trees Arborist report.

Future public open space

1800mm high palisade fence along western boundary to divide public & private open space

Seating rock nestled in the landscape

Hydrant booster cupboard accessible from street



Pavilion with green roof overlooking lawn. Refer architect's package for pavilion details.

Native and exotic flowering understorey to frame the open lawn area. Evergreen and deciduous canopy trees provide seasonal interest to the space.

Large native canopy trees to eastern boundary of NSR-2 and provides a buffer to the road.

Brick edge to separate lawn area from dense landscape setback to NSR-2

BBO

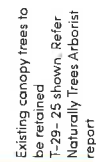
Garden Pavilion with green roof. Refer architect's package for pavilion details.

NOTE:
All planting on site will adhere to the requirements set out in the Apartment Design Guides. Where the basement set down is insufficient for healthy plant growth, raised planters will be utilised to achieve adequate soil depth.



0 2.5 5 SCALE 1:250

KEY PLAN



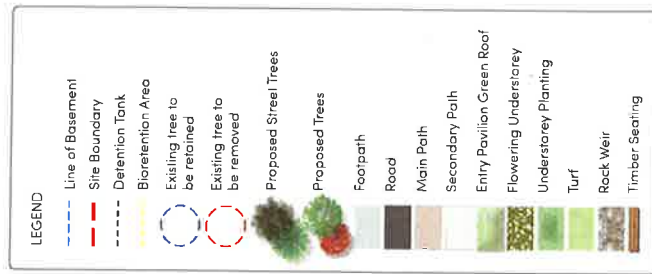
Low maintenance native planting to southern boundary. Planting to mediate scale of wall and provide visual relief as temporary landscape solution. Refer Public domain plans for future condition of this area. Walls to be removed & area filled.

1800mm wide landscaped area between terraced levels. Refer Engineer's package for wall details.

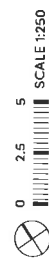
1800mm high
pallisade fence
along southern
boundary.

1500mm high balustrade
offset 500mm from edge of
terrace. Balustrade to nestle into
proposed landscape treatment

Substation surrounded by screen planting and accessible via NSR-2



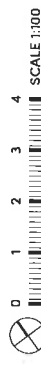
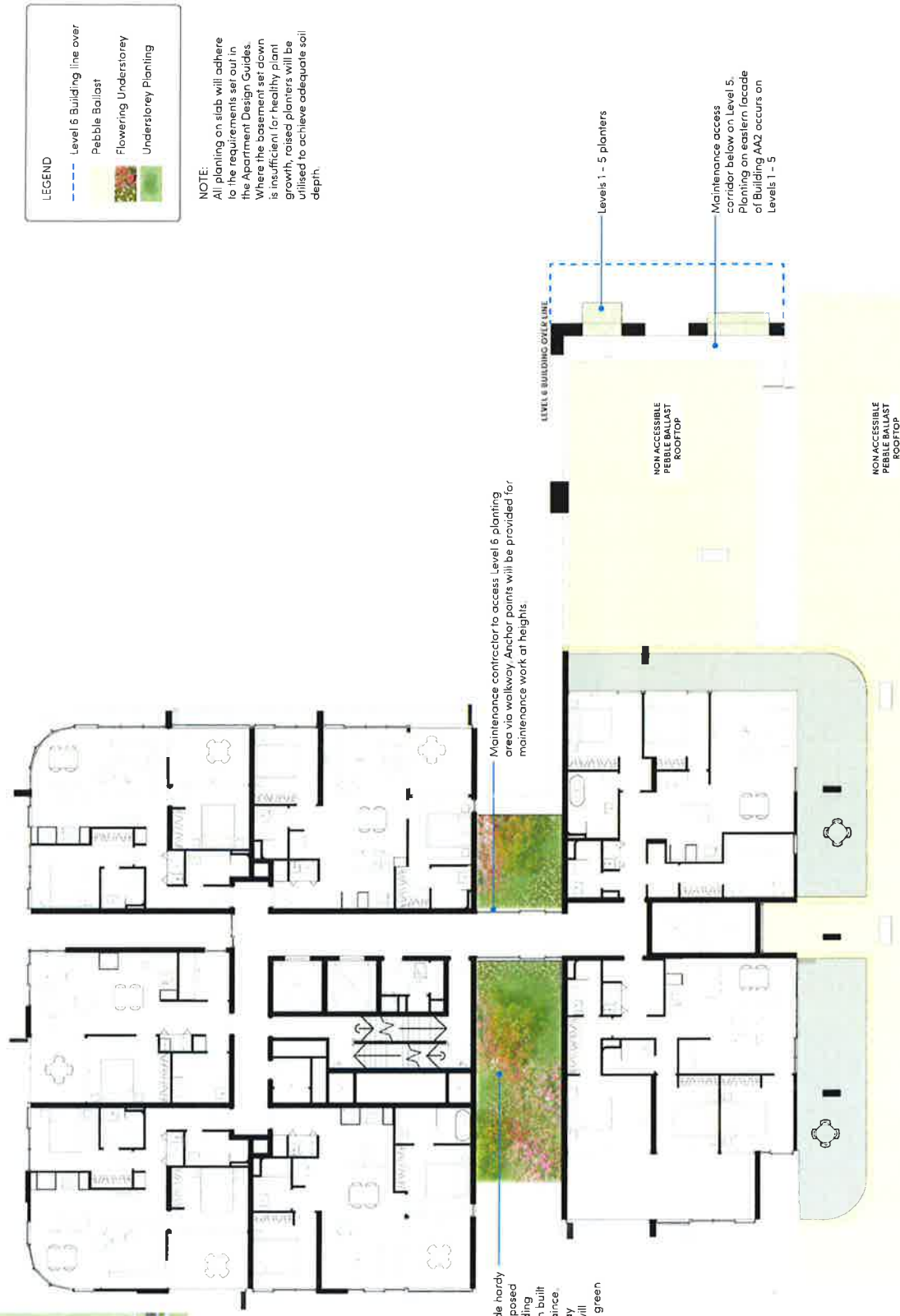
NOTE:
All planting on slab will adhere to the requirements set out in the Apartment Design Guides. Where the basement set down is insufficient for healthy plant growth, raised planters will be utilised to achieve adequate soil depth.



DETAILED LANDSCAPE PLAN

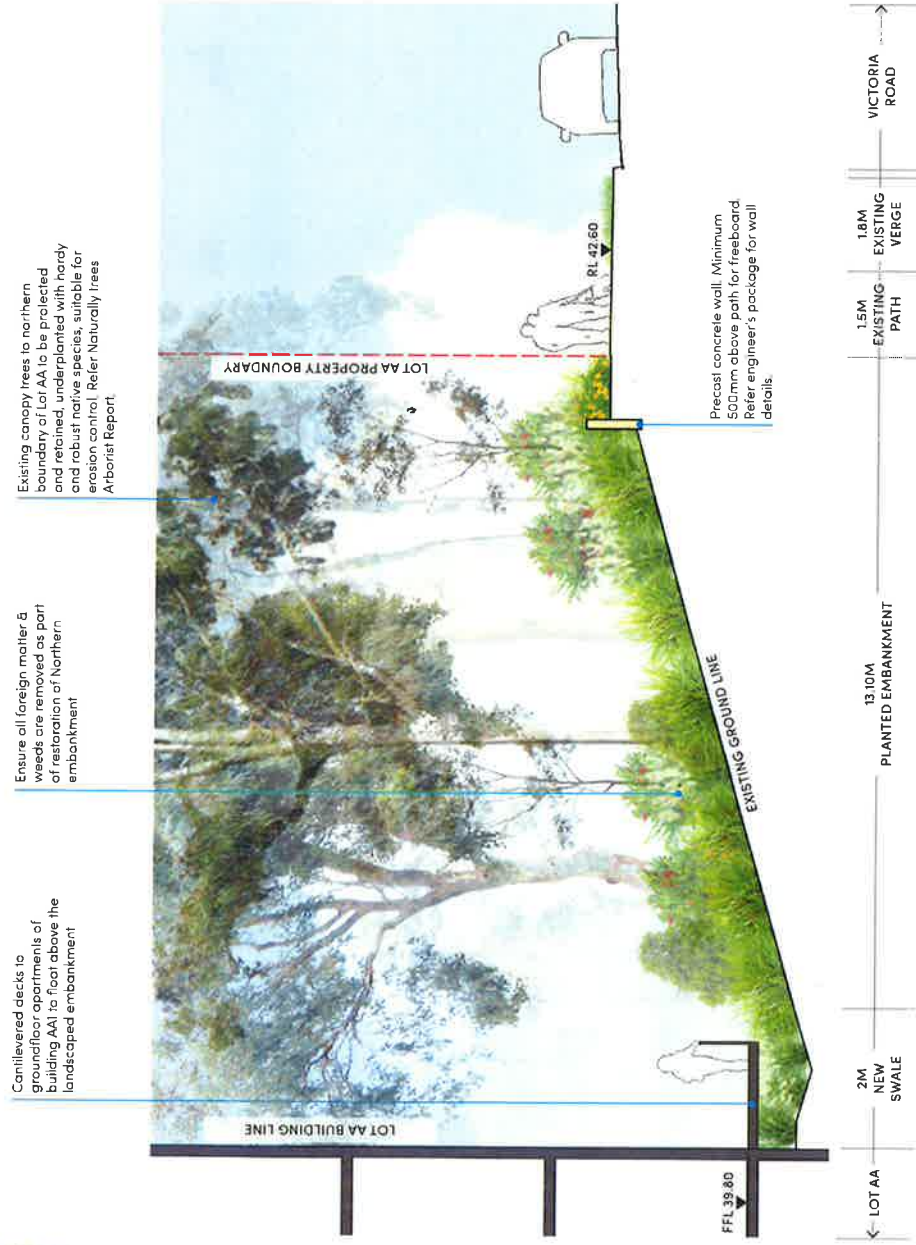
BUILDING AA2 LEVEL 1-5 EASTERN PLANTERS & LEVEL 6 PLANTERS

KEY PLAN



SCALE 1:100

LANDSCAPE SECTIONS



SECTIONAL ELEVATION A - NORTH-SOUTH THROUGH SLOPED EMBANKMENT AND VICTORIA ROAD



LANDSCAPE SECTIONS

KEY PLAN



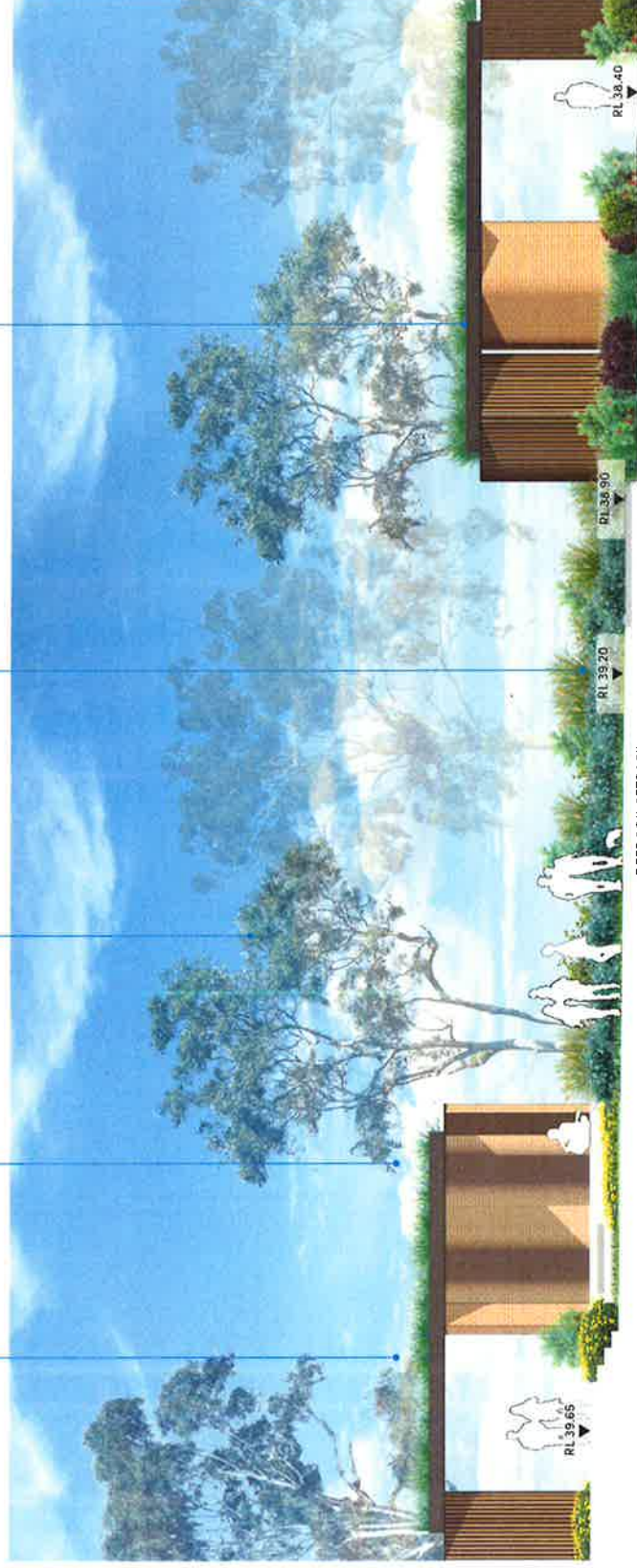
Northern entry pavilion with Green Roof

Entry Pavilion & mail room services benched at higher street entry level 39.60. Planting to screen base of entry pavilion

Large native trees to Eastern boundary including Eucalyptus piliolaris, Angophora costata. The landscape setback will screen and shelter the Communal Open Space from NSR-2.

Lush planted setback to NSR-2 dividing private and public domain. A combination of low brick edging & hedge planting will allow passive surveillance on to the street & follow grade of the streetscape seamlessly.

Sheltered Garden pavilion with BBQ and seating amenity for residents and visitors. A green roof will sit on top of the pavilion with sedums and ground covers cascading over the edges.



DEEP SOIL SETBACK

SECTIONAL ELEVATION B - NORTH - SOUTH THROUGH COMMUNAL OPEN SPACE

0 1 2 3 4
SCALE 1:100

LANDSCAPE SECTIONS

KEY PLAN



1800mm wide planting area.
Planting to soften and mediate
scale of wall. Predominantly
native and robust species.



1500mm high balustrade set
in 500mm from terrace edge.
Placement within landscape
will reduce appearance of
height from lower levels

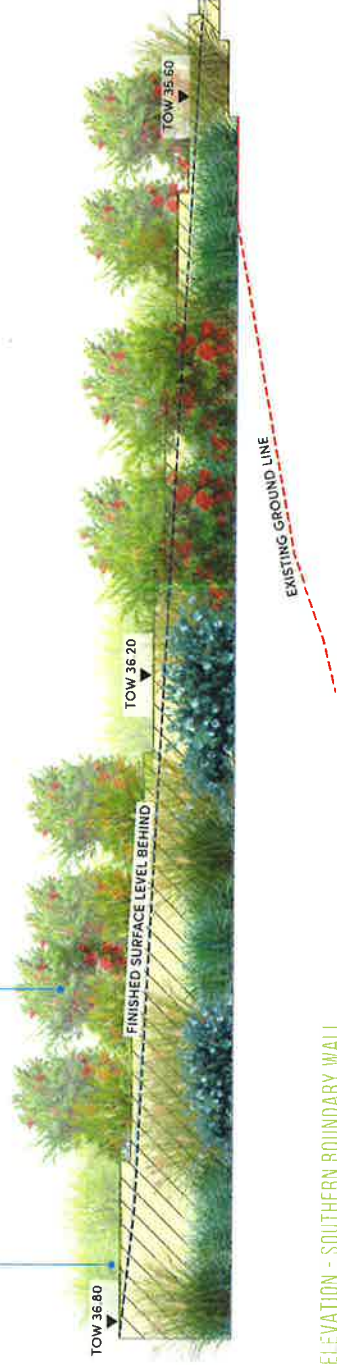
Tiered modular retaining wall
structure to engineer's details.

DEEP SOIL

Modular wall system screened by
planting on each terrace level.
Refer Engineers drawing RWC10
for details

1800mm wide planting area.
Planting to soften and mediate
scale of wall. Native and robust
species to be used

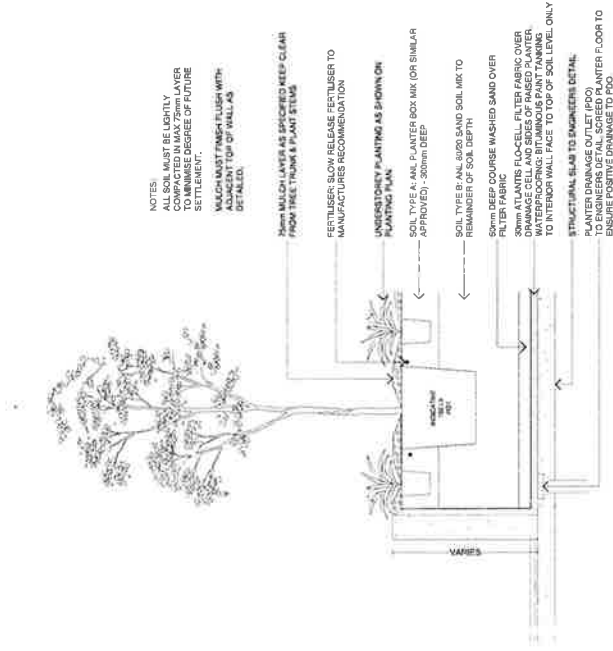
SECTION ELEVATION C - NORTH-SOUTH THROUGH TEMPORARY SOUTHERN BOUNDARY TERRACES



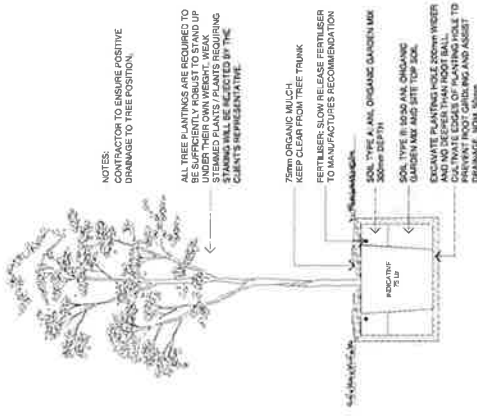
ELEVATION - SOUTHERN BOUNDARY WALL

0 1 2 3 4
SCALE 1:100

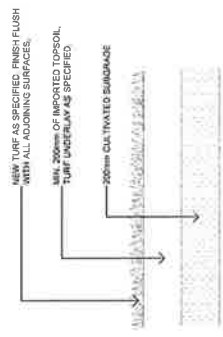
TYPICAL DETAILS



DETAIL 1 - PLANTING ON STRUCTURE 1:40 @ A3



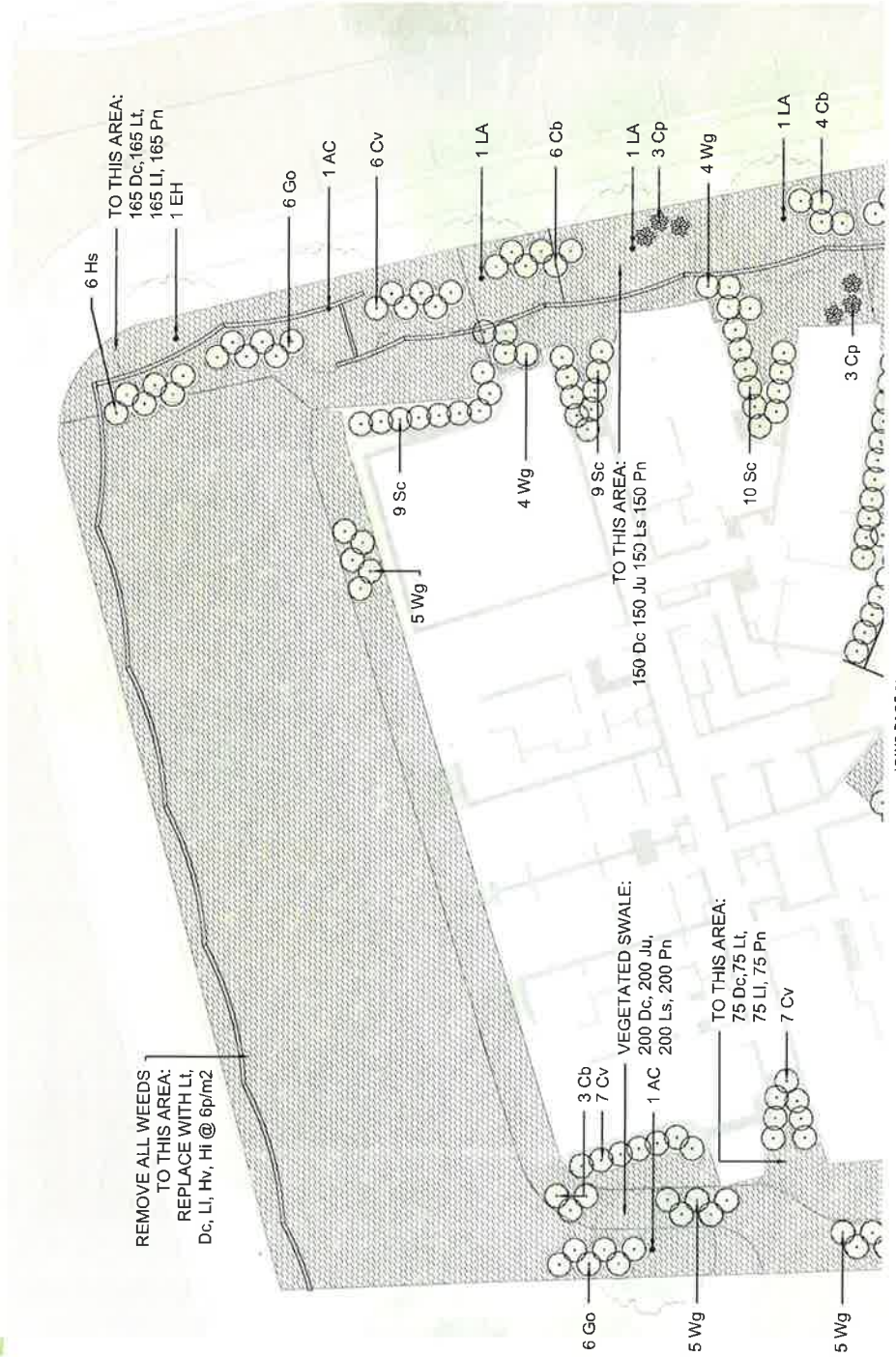
DETAIL 2 - TREE PLANTING IN NATURAL GROUND 1:40 @A3



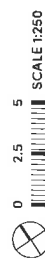
DETAIL 3 - TURF 1:20 @A3

PLANTING PLAN

NORTHERN BOUNDARY



KEY PLAN



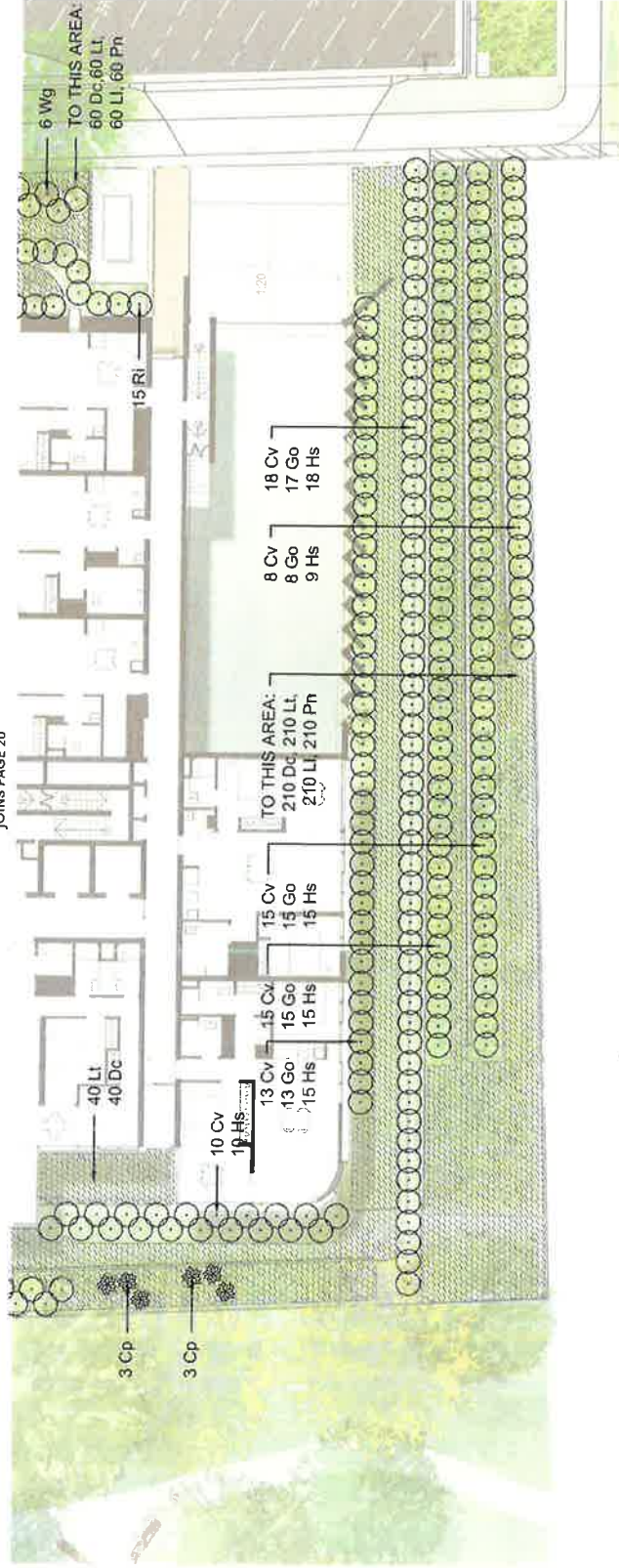
PLANTING PLAN

SOUTHERN BOUNDARY

KEY PLAN

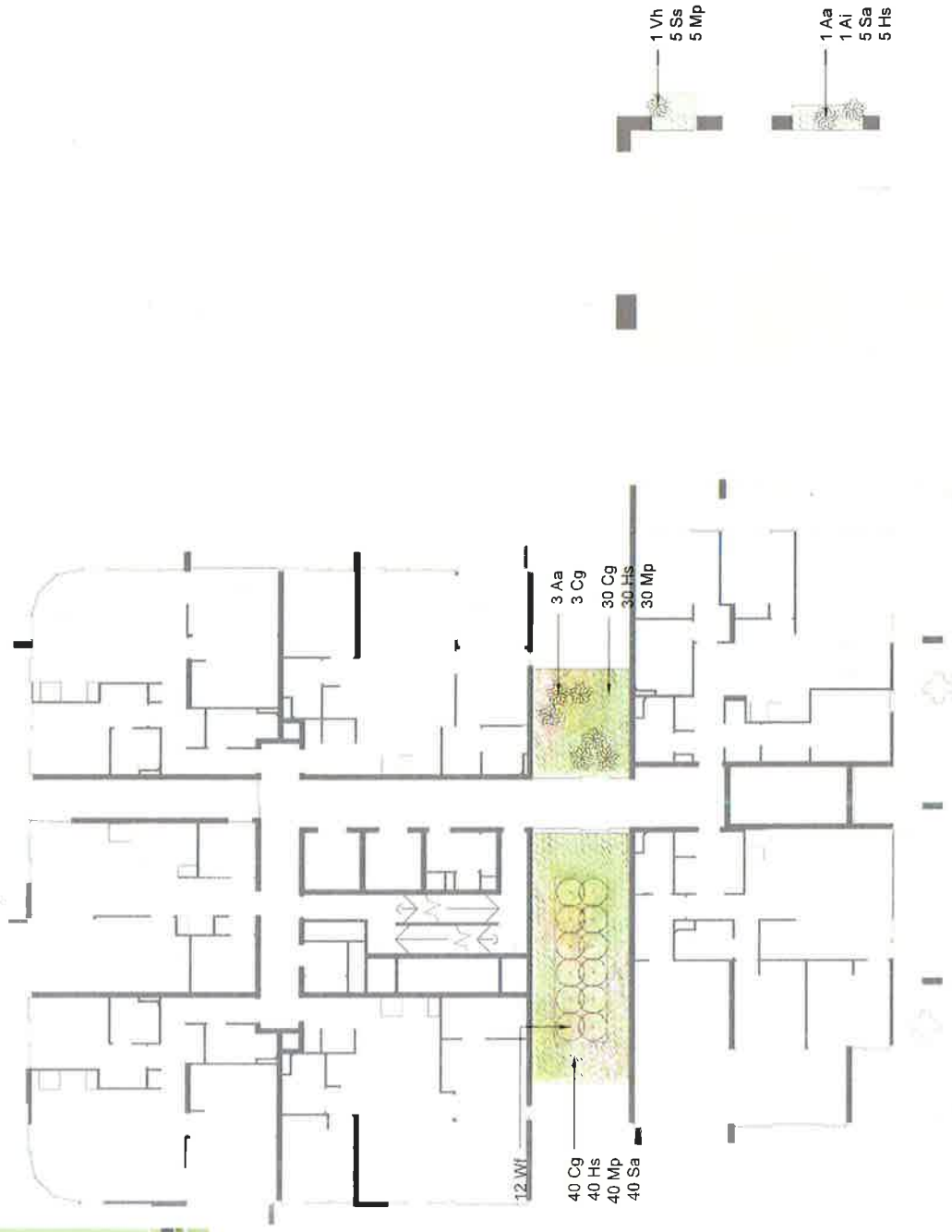


JOINS PAGE 20



PLANTING PLAN

BUILDING AA2 LEVEL 1-5 EASTERN PLANTERS & LEVEL 6 PLANTERS



PLANTING SCHEDULE

NORTHERN BOUNDARY

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	POT SIZE	DENSITY	QUANTITY
TREES							
AC	Angophora costata	Smooth Barked Apple	20m	12.0m	400lt bag	as shown	2
LA	Livistona australis	Cabbage Tree Palm	15m	5m	400lt bag	as shown	3
SHRUBS							
Cb	Callistemon 'Belter John'	Belter John Bottlebrush	1.0m	0.9m	200mm pot	as shown	13
Cv	Callistemon viminalis 'Macarthur'	Macarthur Bottlebrush	1.8m	1.5m	200mm pot	as shown	20
Go	Grevillea oleoides	Spider Flower	2-3m	1.8m	200mm pot	as shown	12
Hs	Hakea sericea	Silky Hakea	2m	2.0m	200mm pot	as shown	6
Sc	Syzygium cascade	Cascade Lilly Pilly	3m	3m	200mm pot	as shown	28
Wg	Westringia fruticosa 'Grey box'	Grey Box	0.45	0.45	200mm pot	as shown	23
ACCENT PLANTING							
Cp	Crinum pedunculatum	Swamp Lilly	1.0m	1.0m	300mm pot	as shown	6
UNDERSTOREY							
Dc	Dianella caerulea	Fox Lilly	0.4m	0.5m	140mm pot	3/m ²	590
Hi	Hibbertia scandens	Golden Guinea Vine	2-5m	2.5m	140mm pot	6/m ²	*
Hv	Hardenbergia violacea	Native Sarsaparilla	0.3m	3.0m	140mm pot	6/m ²	*
Ju	Juncus usitatus	Common Rush	1m	0.5m	140mm pot	6/m ²	200
Ll	Lamandra longifolia	Spiny Headed Mat Rush	1.5m	1.2m	140mm pot	6/m ²	240
Ls	Lamandra longifolia 'Shara'	'Shara' Mat Rush	0.4m	0.5m	140mm pot	6/m ²	350
Lt	Lamandra longifolia 'Tanika'	'Tanika' Mat Rush	0.6m	0.6m	140mm pot	6/m ²	380
Pn	Pennisetum alopecuroides 'Nafroy'	Nafroy Swamp Foxtail	1.5m	1.0m	140mm pot	6/m ²	590

PLANTING PALETTE



NOTE

- Refer page 20 for detailed planting plan.
- * Final numbers to be resolved post landscape remediation works

PLANTING SCHEDULE

GROUND FLOOR COMMUNAL OPEN SPACE

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	POT SIZE	DENSITY	QUANTITY
TREES							
AC	Angophora costata	Smooth barked apple	20m	12.0m	400lt bag	as shown	2
AM	Acmena smithii var. Minor	Dwarf Lilly Pilly	5m	3m	400lt bag	as shown	6
AS	Acmena smithii	Lilly Pilly	12m	6.0m	400lt bag	as shown	4
AR	Acer rubrum 'October Glory'	October Glory Maple	12m	9.0m	700lt bag	as shown	2
EP	Eucalyptus pillularis	Blackbutt	30m	3.0m	400lt bag	as shown	3
JM	Jacaranda mimosifolia	Jacaranda	10m	5.0m	700lt bag	as shown	1
MG	Magnolia 'Little Gem'	Little Gem	6m	3m	400lt bag	as shown	3
SHRUBS							
Cv	Callistemon viminalis 'Macarthur'	Bottle Brush	1.8m	1.5m	200mm pot	as shown	37
Mt	Melaleuca thymifolia	Thyme Honey Myrtle	1m	1.0m	200mm pot	4/m ²	160
Px	Philadelphron xanadu	Xanadu	1.2m	1.0m	200mm pot	5/m ²	396
Ri	Raphiolepis 'Cosmic Pink'	Indian Hawthorne	2m	1.5m	200mm pot	as shown	34
Vo	Viburnum odoratissimum	Sweet Viburnum	3m	3.0m	200mm pot	as shown	100
ACCENT PLANTING							
De	Doryanthes excelsa	Gynea Lily	3.0m	2.0m	300mm pot	as shown	27
Cf	Cordylone fruticosa 'Rubra'	Red Cordylone	1.0m	1.5m	300mm pot	as shown	36
Cp	Crinum pedunculatum	Swamp Lilly	1.0m	1.0m	300mm pot	as shown	6
Cr	Cycas revoluta	Cycad	2m	2.0m	300mm pot	as shown	24
UNDERSTOREY							
Ae	Aspidistra elatior	Cast Iron Plant	0.5m	1.5m	140mm pot	4/m ²	168
Ao	Agapanthus orientalis	African Lilly	1m	1.0m	140mm pot	4/m ²	210
Cg	Casuarina glauca	Cousin It	0.2m	1.5m	140mm pot	6/m ²	110
Cm	Clivia miniata	Bush Lilly	0.5m	0.5m	140mm pot	4/m ²	120
Ds	Dichandra argentea 'Silver Falls'	Silver Falls	0.1m	0.7m	140mm pot	8/m ²	50
Ju	Juncus usitatus	Common Rush	1m	0.5m	140mm pot	6/m ²	160
Li	Lomandra longifolia 'Tanika'	Lomandra	0.5m	0.5m	140mm pot	6/m ²	106
Ls	Lomandra longifolia 'Shara'	'Shara'	0.4m	0.5m	140mm pot	6/m ²	160
Ph	Pennisetum naffray	Naffray	1.5m	1.0m	140mm pot	6/m ²	261
Ts	Tradescantia spathacea	Moses in the Cradle	0.2m	0.5m	140mm pot	6/m ²	60

PLANTING PALETTE



Angophora costata



Acmena smithii



Acer rubrum 'October Glory'



Eucalyptus pillularis



Jacaranda mimosifolia



Magnolia 'Little Gem'



Callistemon viminalis 'Macarthur'



Melaleuca thymifolia



Philadelphron xanadu



Raphiolepis 'Cosmic Pink'



Viburnum odoratissimum



Aspidistra elatior



Agapanthus orientalis



Criminum pedunculatum



Cycas revoluta



Doryanthes excelsa



Casuarina glauca



Clivia miniata



Dichandra argentea 'Silver Falls'

NOTE

Refer page 21 for detailed planting plan

PLANTING SCHEDULE

SOUTHERN BOUNDARY

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	POT SIZE	DENSITY	QUANTITY
SHRUBS							
Cp	Crinum pedunculatum	Swamp Lilly	10m	10m	200mm pot	as shown	6
Cv	Callistemon viminalis 'Macarthur'	Bottle Brush	18m	15m	200mm pot	as shown	79
Go	Grevillea oleoides	Spider Flower	2-3m	18m	200mm pot	as shown	66
Hs	Hakea sericea	Silky Hakea	2m	3m	200mm pot	as shown	82
Wg	Westringia fruticosa 'Grey box'	Grey Box	0.45	0.45	200mm pot	as shown	6
UNDERSTOREY							
Dc	Dionella caerulea	Flox Lilly	0.4m	0.5m	140mm pot	6/m2	270
Li	Lomandra longifolia	Spiny headed mat rush	15m	12m	140mm pot	6/m2	270
Lt	Lomandra longifolia 'Tanika'	'Tanika'	0.4m	0.5m	140mm pot	6/m2	270
Ph	Pennisetum nafray	Nafray	1.5m	10m	140mm pot	6/m2	270

PLANTING PALETTE



NOTE

Refer page 22 for detailed planting plan

PLANTING SCHEDULE

BUILDING AA2 LEVEL 1-5 EASTERN PLANTERS & LEVEL 6 PLANTERS

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	POT SIZE	DENSITY	QUANTITY
SHRUBS							
Cg	Cordyline 'Glaucia'	Ti Plant	2m	0.5m	200mm pot	as shown	3
Wf	Westringia fruticosa 'Grey box'	Grey Box	0.45	0.45m	200mm pot	as shown	12
ACCENT PLANTING							
Aa	Agave attenuata	Agave	1.5m	1.0m	300mm pot	as shown	4
Al	Alcantarea imperialis 'Rubra'	Imperial Bromeliad	1.5m	1.5m	300mm pot	as shown	5
Vh	Vriesea hieroglyphica	King of the Bromeliads	0.9m	1.2m	300mm pot	as shown	5
UNDERSTOREY							
Cg	Carpobrotus glaucescens	Pigface	0.1m	2.0m	140mm pot	5/m ²	70
Hs	Hibbertia scandens	Golden guinea vine	2-5m	2.5m	140mm pot	3/m ²	75
Mp	Myoporum parvifolium	Creeping Boabialla	0.1m	3.0m	140mm pot	5/m ²	75
Sa	Scaevola aemula 'Purple Fanfare'	Fan Flower	0.1m	2.0m	140mm pot	5/m ²	45
Ss	Senecio serpens	Blue Chalk Sticks	0.3m	1.0m	140mm pot	6/m ²	60

NOTE: Typical species layout & numbers shown for hanging gardens.

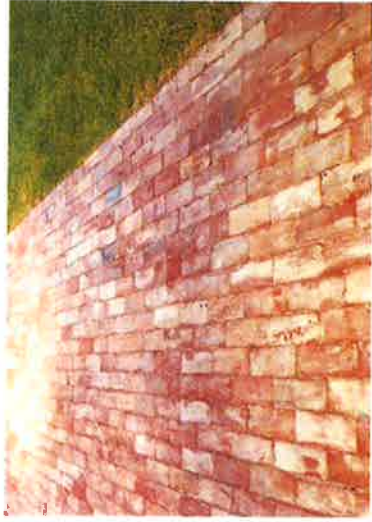
PLANTING PALETTE



NOTE

Refer page 23 for detailed planting plan

MATERIALS AND FINISHES



RECYCLED BRICK

Recycled Brick paving will define areas of passage and planter beds on the Ground floor. Creating visual variety & texture and echoing the sites industrial heritage.



VERTICAL ALUMINIUM SLAT FENCING

Permeable aluminium slat fencing to terraces will allow the landscape to bleed through Private and Communal spaces creating a seamless landscape experience.



CASCADING PLANTERS

Cascading plants will feature on the Eastern facade of building AA2, these planters will provide green relief and visual interest from adjacent street NSR-2.

PUBLIC DOMAIN

PUBLIC DOMAIN APPROACH



The public domain seeks to create a unified and seamless relationship between the public space and new surrounding development. The design will follow the principles defined in CoP's Public Domain Guidelines: Chapter 3 Development Principles. In addition to these guidelines, street trees specified in the public domain plan have been selected from CoP's 2017 Parramatta Street Tree Plan.

Key roads relating to Lot AA include:

VICTORIA ROAD

Victoria Road bounds the development to the North. More specifically the relationship between the northern portion of Lot AA and Victoria Road has had great bearing on this development. Victoria Road being a main arterial road creates issues with noise, smells & views. Interim landscape design looks to mitigate these effects by retaining a number of existing high value native trees on the embankment & advising revegetation and restoration of the existing landscape bank.

NSR-2

NSR-2 is a north-south arterial road to the east of Lot AA. NSR-2 varies in width north - south from 28 meters to 22m wide.

The public domain along this road during the interim will include standard pedestrian path widths, landscaped verges and on-street parking in accordance with CoP's Public Domain Guidelines. Street trees are to be installed in the interim along the eastern kerb line and in the future median strip. Kerb lines have been set, so future stages of public domain works will not damage previously installed street tree plantings.

The future condition of NSR-2 will include 3 North bound lanes & 2 south bound lanes all reaching an intersection at Victoria Road.

The future condition will include standard pedestrian path widths, landscaped verges and a central median strip developed in accordance with CoP's Public Domain Guidelines.

SOUTHERN ROAD

The Southern Road will connect existing street Hughes Avenue to the Melrose Park development. Running east - west it passes the bottom of the LOT AA development site. The Southern Road will be developed in conjunction with the adjoining development site owned by the Erminington Gospel Trust in the future. The southern boundary of LOT AA in the interim will be characterised by modular terraced retaining walls & native planting. These will be removed in full or in part and the area filled to accommodate the new road, also creating a level landscape buffer for LOT AA's southern boundary which will accommodate large tree planting in deep soil.

Future publicly accessible open space relating to LOT AA:

WESTERN BOUNDARY PARK

The development site at Melrose Park is bound by an existing north - south transmission easement. The western boundary of LOT AA is the Northern most part of this existing easement. This easement area has been identified as future publicly accessible open space. The area will become a linear parkland for residents and visitors of the Melrose precinct. The linear parkland will be characterised by a thick landscape buffer to existing homes on the western edge, retention of existing trees and inclusion of fitness stations, sheltered retreats & looping pathways for bikes and pedestrians.

PLANTING

Planting in the public domain has been chosen to provide a lush and rich visual aesthetic. A robust, yet varying understorey will provide interest along the roads. Species will include a mix of local endemic and exotic plants. Low-growing groundcovers and non-frangible, single-trunked street trees will be chosen for street corners to keep sight lines clear.

INTERIM LANDSCAPE

Lot AA's interim landscape design needs to be a safe and accessible place for new residents of the development and visitors to Melrose Park. Temporary engineering solutions surrounding Lot AA will include landscaped barriers & modular retaining walls to moderate levels during stages of development at Melrose Park and prior to installation of the future long-term public domain.

Temporary landscape will include mass planting of native grasses and shrubs; species identified will establish quickly to stabilise banks and other temporary situations.

URBAN ELEMENTS

In an effort to create a smart, safe and functional public domain, urban elements have been chosen for their leading, smart technologies. Elements such as street furniture and smart poles / lighting and wifi-towers will be developed further during detailed design.

Paving will remain in line with CoP's overarching principles detailed in the Public Domain Guidelines.

INTERIM LANDSCAPE LANDSCAPE PLAN



LEGEND

Lot AA Boundary
+EX 35.00
+RL 35.00

Existing Spot Level
Proposed Spot Level
Existing Trees to be protected and retained
Existing tree to be removed



Proposed Tree: Refer to planting schedule for details

Paving Type 1: Concrete footpath in accordance with Cop Parramatta Public Domain Guidelines

Proposed public road, Kerb and gutter in accordance with Cop Parramatta Public Domain Guidelines



Garden Bed: Deep soil minimum 600mm depth with 75mm depth mulch layer. Refer to planting schedule for details

Wall Type 1: Proposed modular Retaining Wall

NOTES

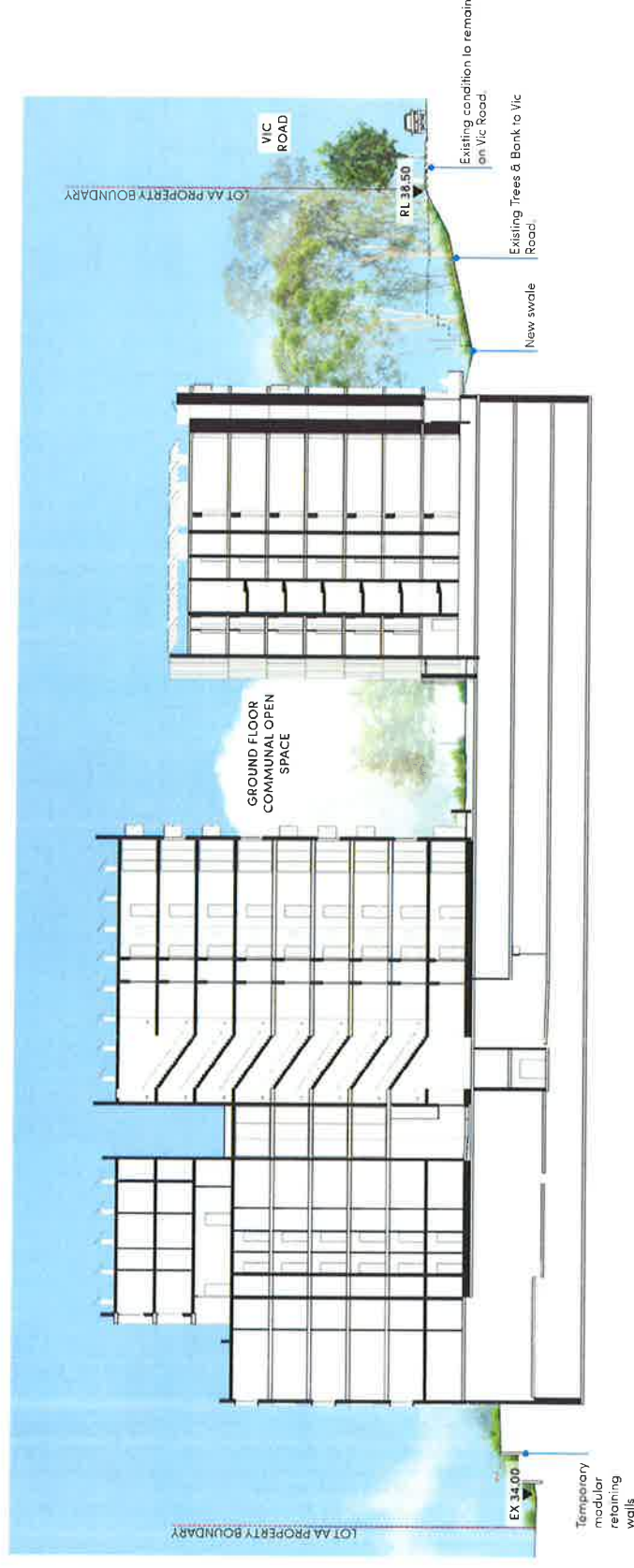
1. This drawing is to read in conjunction with all other consultant's documentation.
2. Refer to engineer's documentation for detailed levels and grading documentation.
3. Refer to engineer's documentation for linemarking and intersection design.
4. Refer to surveyor and architect's documentation for easement location.
5. All adjoining property, infrastructure, fencing, paving and landscape must be protected and retained. Any damaged elements to be made good.
6. Do not scale drawings.
7. All proposed hard and soft landscape elements to remain in line with Cop Public Domain Guidelines.
8. Existing trees to be protected and retained must follow measures detailed in the arborist's report and in line with relevant Australian standards.

0 5 10
SCALE 1:500

INTERIM LANDSCAPE

SITE SECTIONS

KEY PLAN



SITE SECTION - NORTH - SOUTH CROSS SECTION 1

0 4 8 12
SCALE 1:400

INTERIM LANDSCAPE

SITE SECTIONS



SITE SECTION: NORTH - SOUTH CROSS SECTION 2

0 4 8 12
SCALE 1:400

INTERIM LANDSCAPE SITE SECTIONS

KEY PLAN



SITE SECTION - EAST - WEST CROSS SECTION 3

INTERIM LANDSCAPE SITE SECTIONS

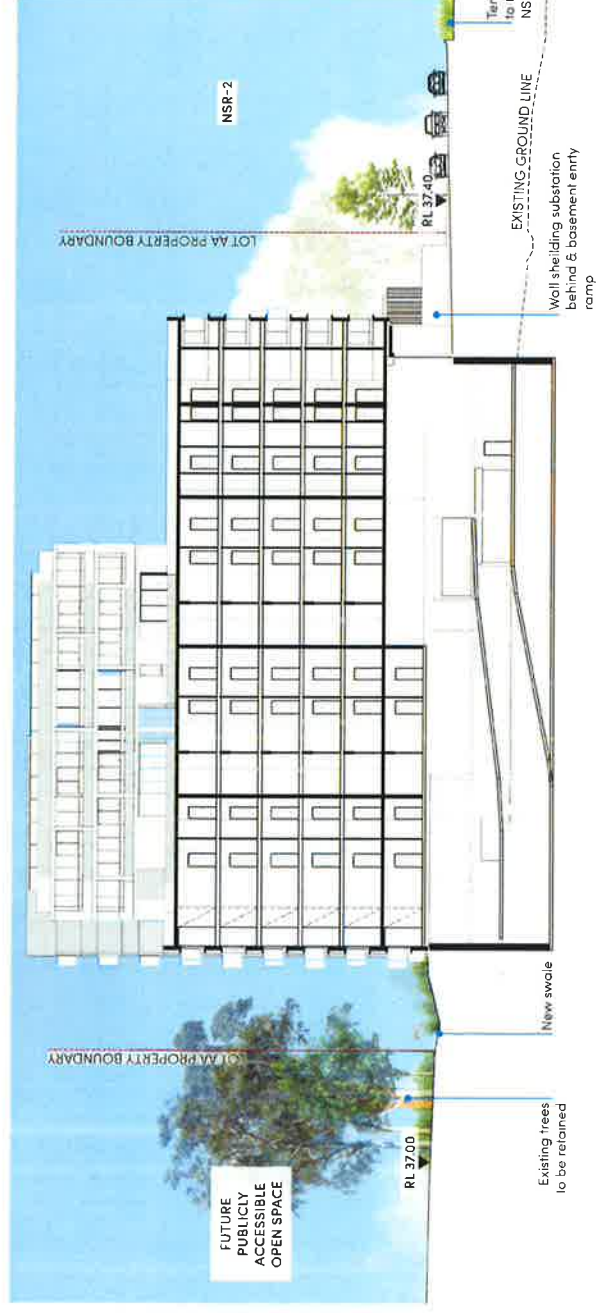


SITE SECTION: EAST - WEST CROSS SECTION 4

0 4 8 12
SCALE 1:400

INTERIM LANDSCAPE SITE SECTIONS

KEY PLAN



SITE SECTION: EAST - WEST CROSS SECTION 5

0 4 8 12
SCALE 1:400

INTERIM LANDSCAPE LANDSCAPE SECTIONS

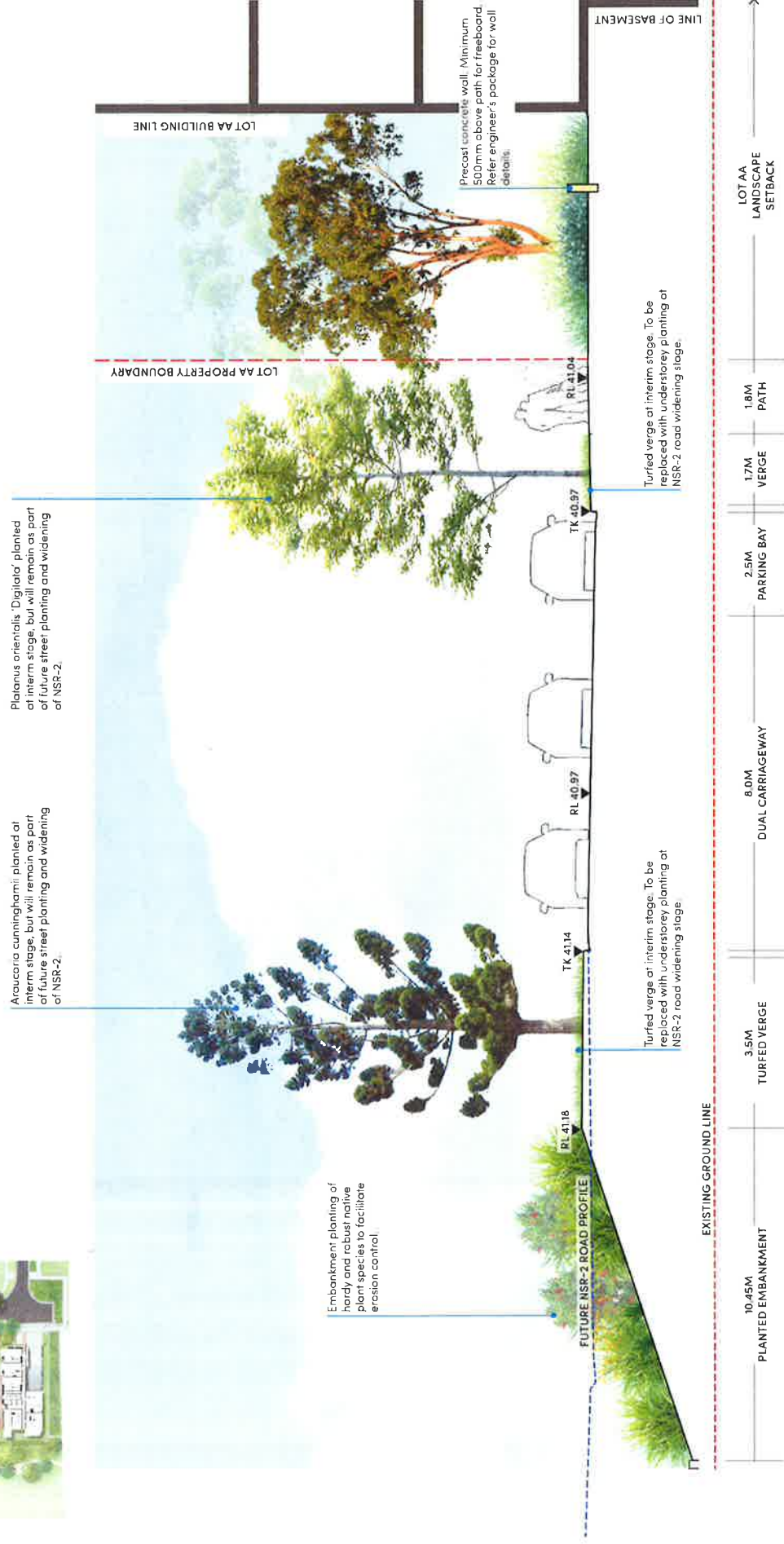
KEY PLAN



NOTE

1. Stratavault structural soil solution to be used in areas which pose issues between hard surfaces & trees. To ensure adequate soil volume for healthy tree growth.
2. Refer to civil chainage 40,000 for technical details

0 1 2 3 4 SCALE 1:100



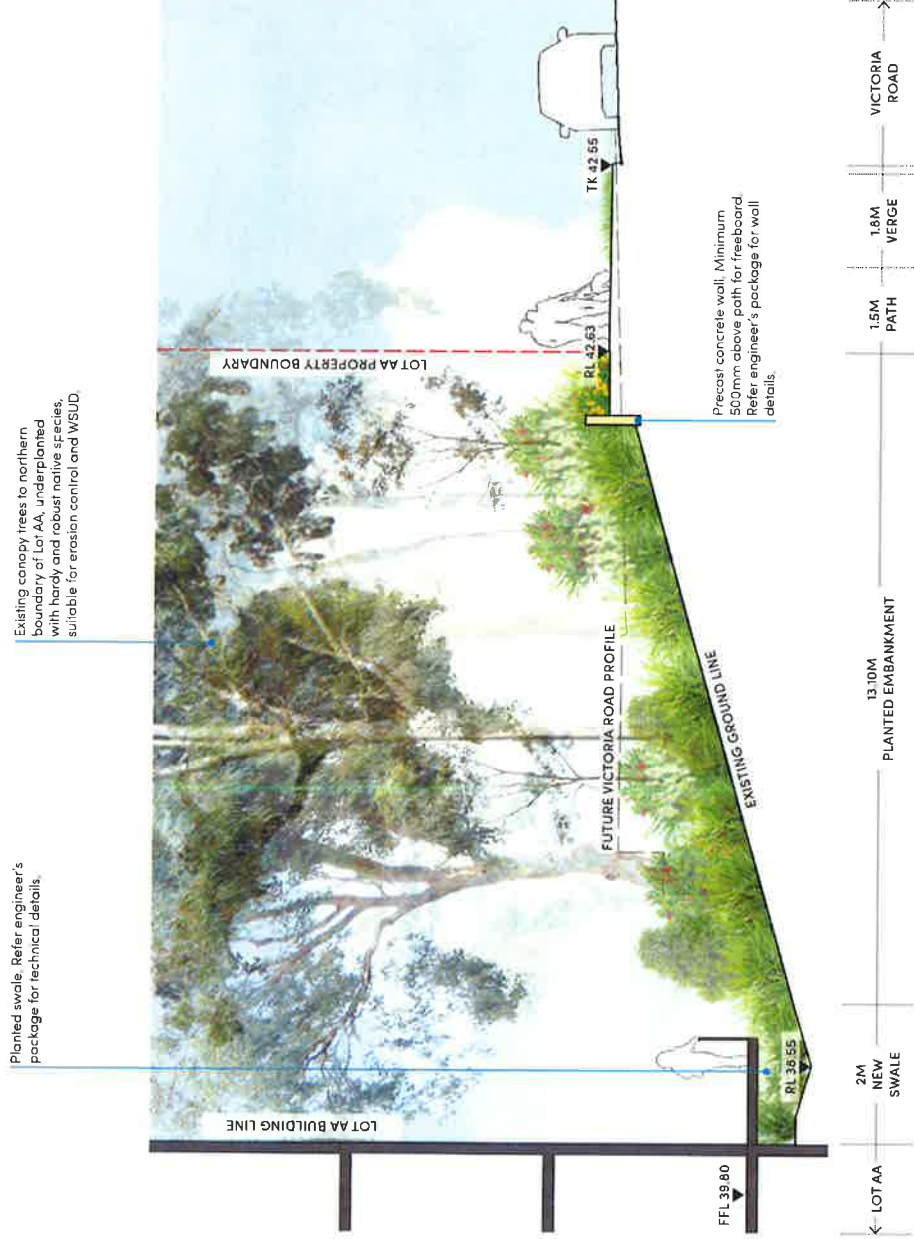
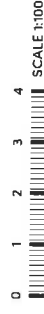
CROSS-SECTION: NSR-2 CIVIL CHAINAGE 40,000



INTERIM LANDSCAPE LANDSCAPE SECTIONS

NOTE

1. Stratovault structural soil solution to be used in areas which pose issues between hard surfaces & trees. To ensure adequate soil volume for healthy tree growth.
Refer to civil chainage 380,000 for technical details
- 2.



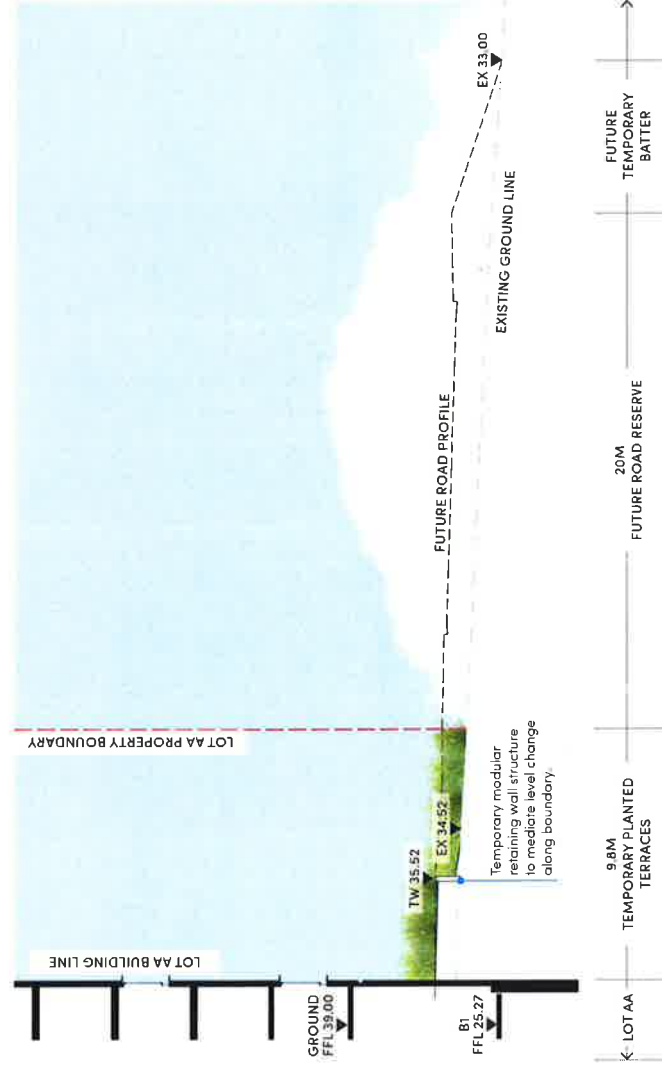
CROSS-SECTION: VICTORIA ROAD CIVIL CHAINAGE 380,000

INTERIM LANDSCAPE LANDSCAPE SECTIONS



NOTE

1. Strata-vault structural soil solution to be used in areas which pose issues between hard surfaces & trees. To ensure adequate soil volume for healthy tree growth.
2. Refer to civil chainage 120.000 along Southern road for technical details



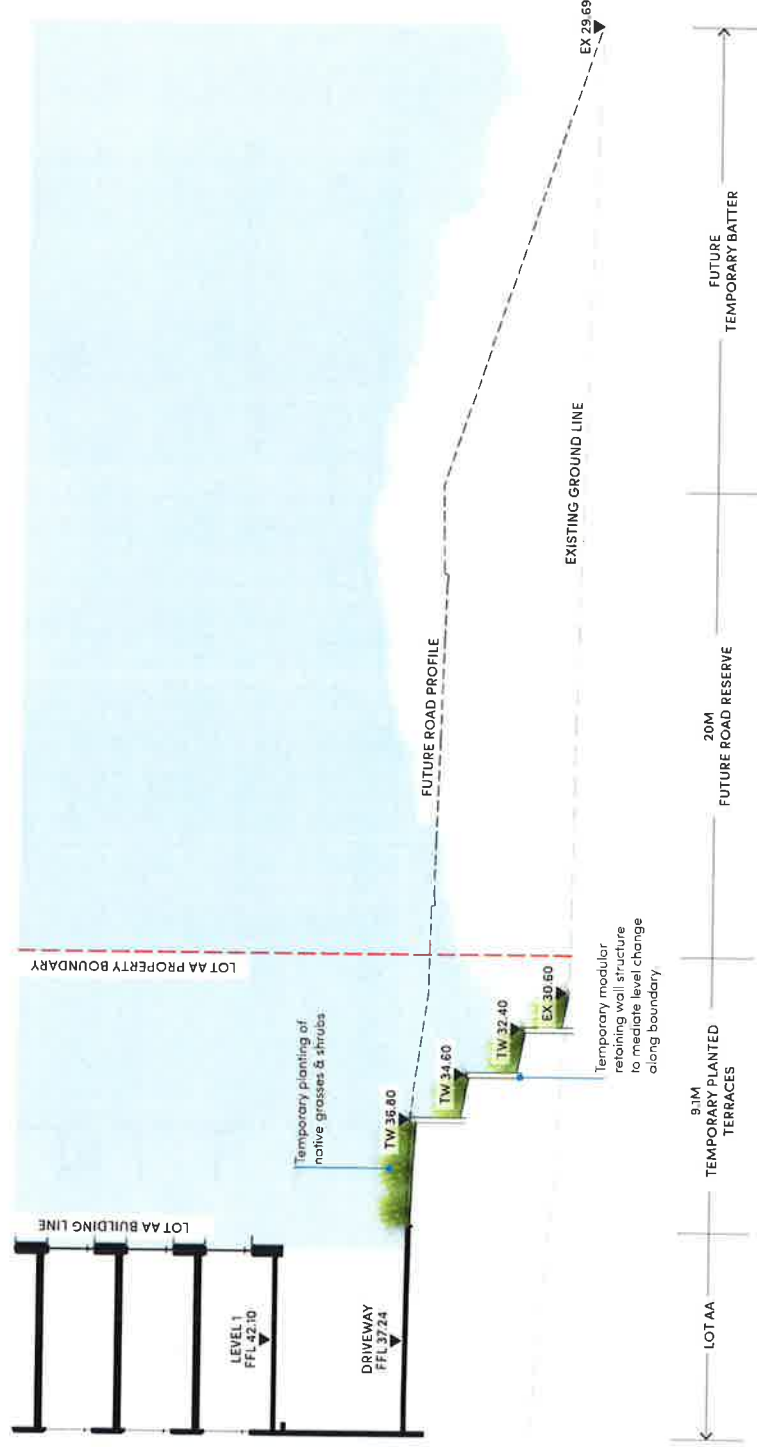
CROSS-SECTION: SOUTHERN ROAD CIVIL CHAINAGE 120.000

INTERIM LANDSCAPE LANDSCAPE SECTIONS



NOTE

1. Stratavault structural soil solution to be used in areas which pose issues between hard surfaces & trees. To ensure adequate soil volume for healthy tree growth.
2. Refer to civil chainage 160,000 along Southern Road for technical details.



CROSS-SECTION: SOUTHERN ROAD CIVIL CHAINAGE 160,000

INTERIM LANDSCAPE PLANTING SCHEDULE

BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	POT SIZE	DENSITY	QUANTITY
TREES						
Araucaria cunninghamii	Hoop Pine	20m	10m	700lt bag	as shown	7
Platanus orientalis 'Digitata'	Plane Tree	15m	10m	700lt bag	as shown	11

BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	POT SIZE	DENSITY
SHRUBS					
Callistemon viminalis 'Little John'	Bottle Brush	10m	1.5m	200mm pot	1.5m centres
Dietes grandiflora	Dietes	12m	12m	200mm pot	4/m ²
Gardenia florida	Gardenia	1.5m	2.0m	200mm pot	1m centres
Loropetalum chinense	Chinese Fringe Flower	1.5m	2.0m	200mm pot	4/m ²
Strobilanthes anisophyllus	Goldfussia	1.2m	0.8m	200mm pot	1m centres
GROUNDCOVERS					
Dianella caerulea	Blue Flax Lily	0.5m	0.5m	140mm pot	6/m ²
Liriope muscari 'Evergreen Giant'	Liriope	0.5m	0.7m	140mm pot	6/m ²
Lamandra longifolia 'Tanika'	Lamandra	0.5m	0.5m	140mm pot	6/m ²
WSUD SPECIES					
Carex oppressa	Tall Sedge	1m	0.8m	140mm pot	6/m ²
Dianella revoluta	Flax Lilly	0.4m	0.3m	140mm pot	6/m ²
Ficinia nodosa	Knobby Club Rush	0.8m	0.6m	140mm pot	6/m ²

PLANTING DESCRIPTION

TREE PLANTING STRATEGY

Tree planting in the public domain will provide a visual amenity and variety in colour and form. Planting design is conscious of the CoP Public Domain Guidelines & the CoP Street Tree Plan. In regards to tree planting, more specifically street trees along NSR-2 will be a combination of avenue plantings. An avenue of Araucaria heterophylla at 10m centres will be planted along the central median. At either side of the footpath plantings of Platanus orientalis 'digitata' will be planted at 8m centres to form a secondary avenue. NSR-2 will also facilitate the inclusion of WSUD blower elements south of EWR-4, which will be detailed in future stages of the development.

UNDERSTORY PLANTING STRATEGY

Planting in the public domain will consist of a variety of native & exotic species, to provide a balance of colour form and variety. Understorey planting typologies in the streetscape will include buffers to the carriage way, under planting to trees, feature beds & creating and dividing spaces along the length of NSR-2.

WSUD PLANTING STRATEGY

WSUD will be utilised along the length NSR-2 south of EWR-4. WSUD will aim to catch & treat contaminants & sediments in storm water and run off from the streets and residential developments. Final intentions for WSUD across the site is a functional, effective and engaging system for residents and the development.

PLANTING PALETTE



INTERIM LANDSCAPE MATERIALS AND FINISHES



PLAN, INSTALL & ESTABLISH

Design in the public domain is conscious of providing immediate amenity for residents of Superior AA. Setting future street alignments & kerb lines allows for sections & elements of the public domain to be installed as part of Superior AA works. Residents will be able to engage with urban elements and street trees will be able to develop and establish.



PROVIDE GREEN SCREENS & RELIEF

The interim condition surrounding Superior AA requires landscape treatment to bathe & retaining walls. Planting of fast growing native shrubs and grasses will screen & provide green relief to the conditions immediately surrounding the site for residents & visitors. Planting will reduce urban heat and encourage residents to engage within the public domain from the outset.



SAFETY FOR RESIDENTS & VISITORS

The interim condition surrounding Superior AA requires the use of barriers & modular retaining walls. Where necessary to do so, hoarding with graphics will be used to separate and screen adjoining stages of developments. Security fences will be used where fall heights are of potential risk to residents or visitors. A clear path of travel in the form of a concrete footpath will be provided for residents during the interim along the streetscape to safely enter their homes.

PUBLIC DOMAIN PUBLIC DOMAIN PLAN

Victoria Road street
tree planting of:
6 TL
3 JM

Victoria Road pedestrian access into
future open space network



LEGEND

- Lot AA Boundary
- Existing Spot Level
- Proposed Spot Level
- Existing Trees to be protected and retained
- Proposed Tree: Refer to planting schedule for details
- Paving Type 1: Concrete footpath in accordance with Cop Parramatta Public Domain Guidelines
- Proposed public road. Kerb and gutter in accordance with Cop Parramatta Public Domain Guidelines.
- Garden Bed: Deep soil minimum 600mm depth with 75mm depth mulch layer. Refer to planting schedule for details.
- Wall Type 2: Proposed Sandstone Retaining Walls
- LP

NOTES

1. This drawing is to read in conjunction with all other consultant's documentation.
2. Refer to engineer's documentation for detailed levels and grading documentation.
3. Refer to engineer's documentation for linemarking and intersection design.
4. Refer to surveyor and architect's documentation for easement location.
5. All adjoining property, infrastructure, fencing, paving and landscape must be protected and retained. Any damaged elements to be made good.
6. Do not scale drawings.
7. All proposed hard and soft landscape elements to remain in line with Cop Public Domain Guidelines.
8. Existing trees to be protected and retained must follow measures detailed in the arborist's report and in line with relevant Australian standards.

0 5 10
SCALE 1:500

KEY PLAN

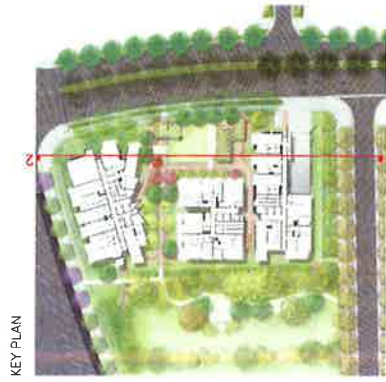


KEY PLAN



PUBLIC DOMAIN

SITE SECTIONS



Temporary planted bank. Future interface determined by development owned by others

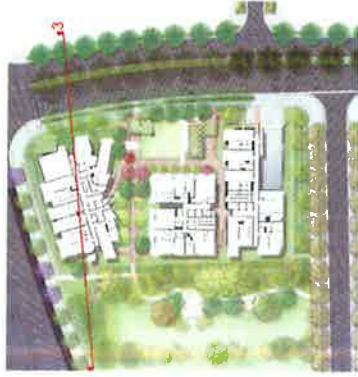
Temporary retaining structures to be removed partially or completely. Area to be filled to accommodate new road & landscape setback

SITE SECTION - NORTH - SOUTH CROSS SECTION 2



PUBLIC DOMAIN SITE SECTIONS

KEY PLAN

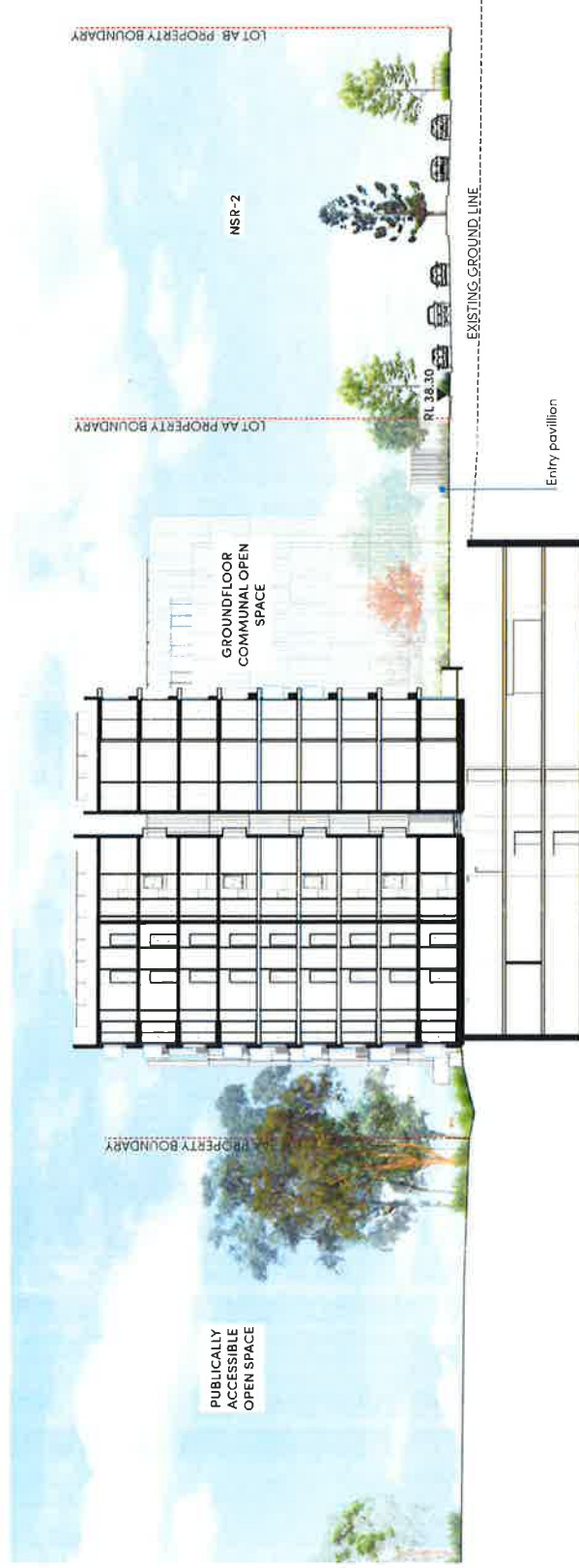
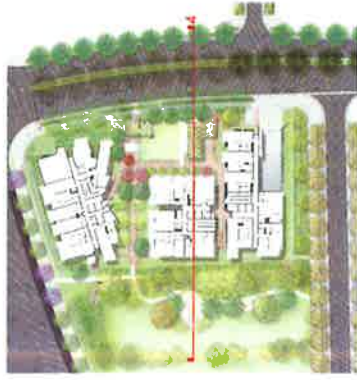


SITE SECTION: EAST - WEST CROSS SECTION 3

PUBLIC DOMAIN

SITE SECTIONS

KEY PLAN



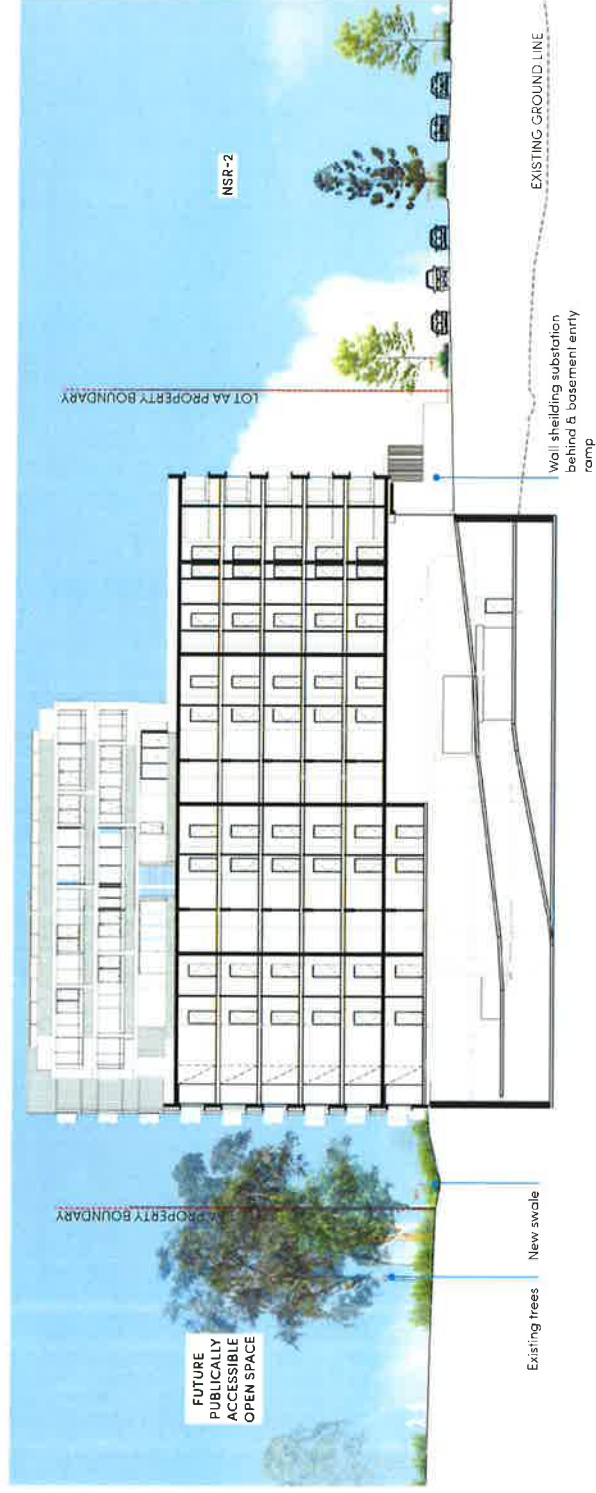
SITE SECTION: EAST - WEST CROSS SECTION 4

0 4 8 12
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PUBLIC DOMAIN

SITE SECTIONS

KEY PLAN

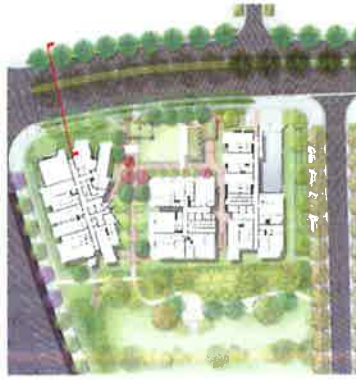


SITE SECTION: EAST - WEST CROSS SECTION 5

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SCALE 1:400

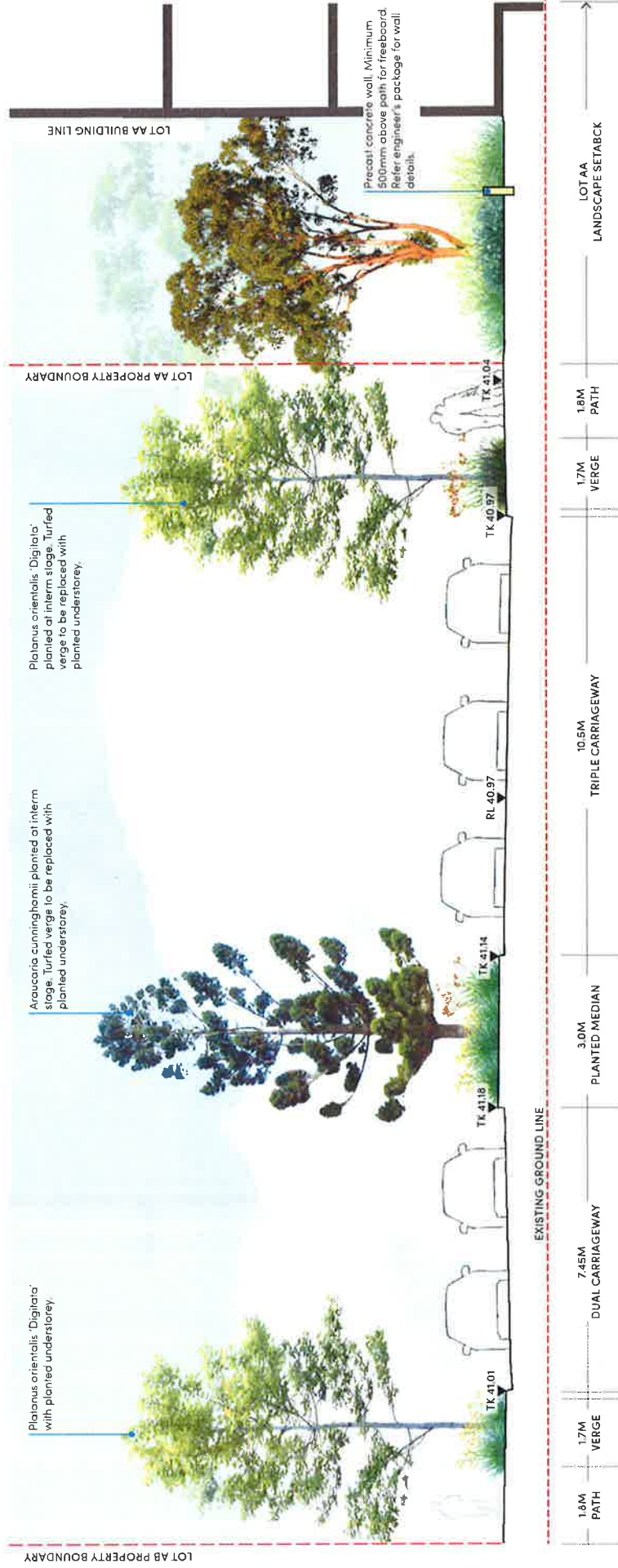
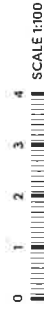
PUBLIC DOMAIN LANDSCAPE SECTIONS

KEY PLAN



NOTE

1. Stratavault structural soil solution to be used in areas which pose issues between hard surfaces & trees. To ensure adequate soil volume for healthy tree growth.
2. Refer to civil chainage 40,000 for technical details.



CROSS-SECTION: NSR-2 CIVIL CHAINAGE 40,000

PUBLIC DOMAIN LANDSCAPE SECTIONS

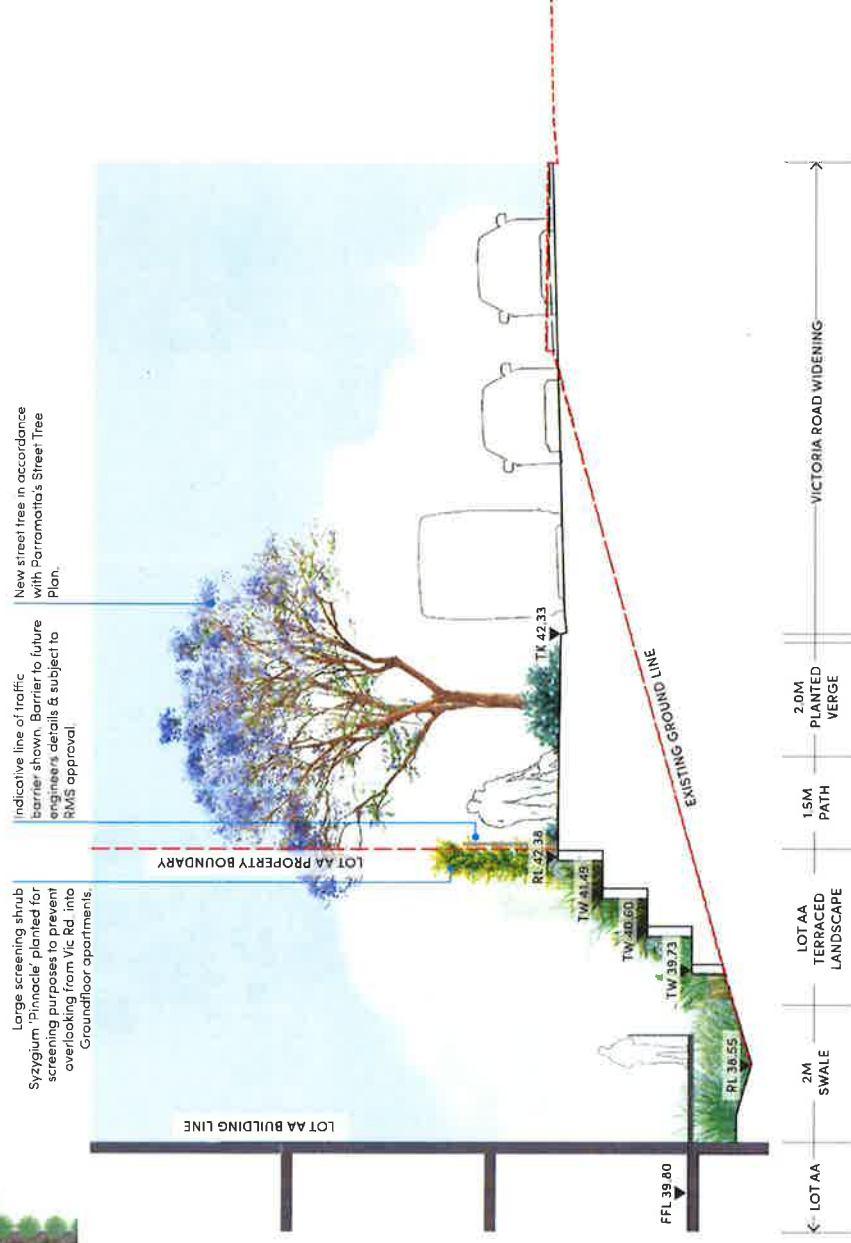
KEY PLAN



NOTE

1. Stratavault structural soil solution to be used in areas which pose issues between hard surfaces & trees. To ensure adequate soil volume for healthy tree growth Refer to civil drainage 380,000 along Victoria Road for technical details

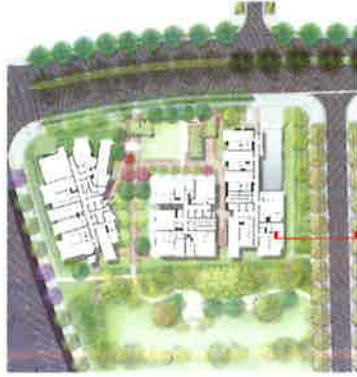
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SCALE 1:100



CROSS-SECTION: VICTORIA ROAD CIVIL CHAINAGE 380,000

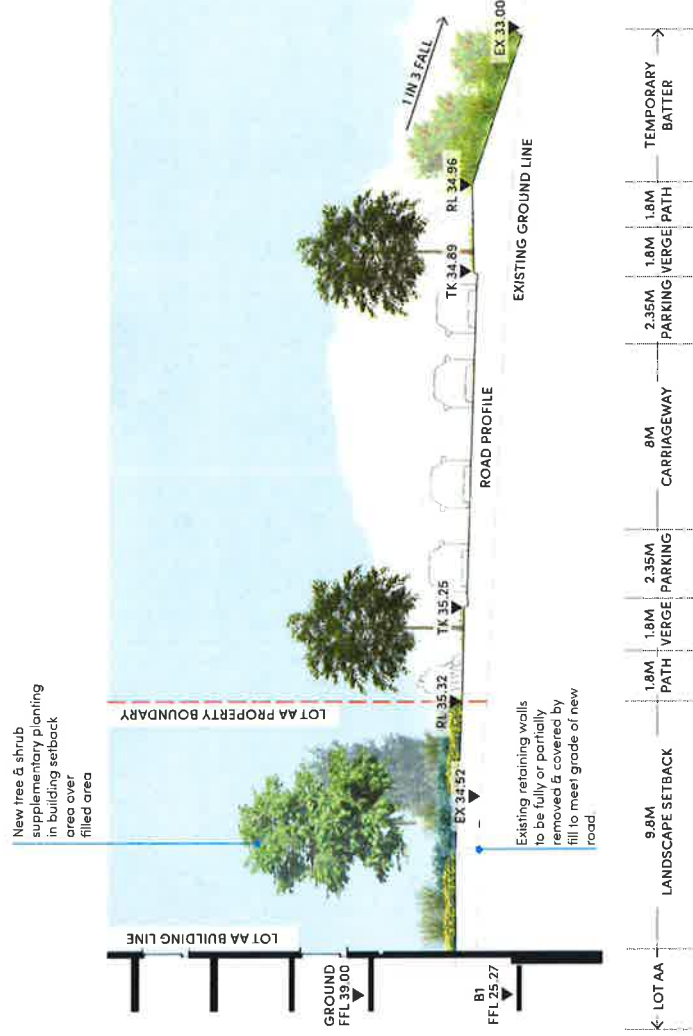
PUBLIC DOMAIN LANDSCAPE SECTIONS

KEY PLAN



NOTE

1. Stratovault structural soil solution to be used in areas which pose issues between hard surfaces & trees. To ensure adequate soil volume for healthy tree growth.
2. Refer to civil drainage 120,000 along Southern Road for technical details.



CROSS-SECTION: SOUTHERN ROAD CIVIL CHAINAGE 120,000

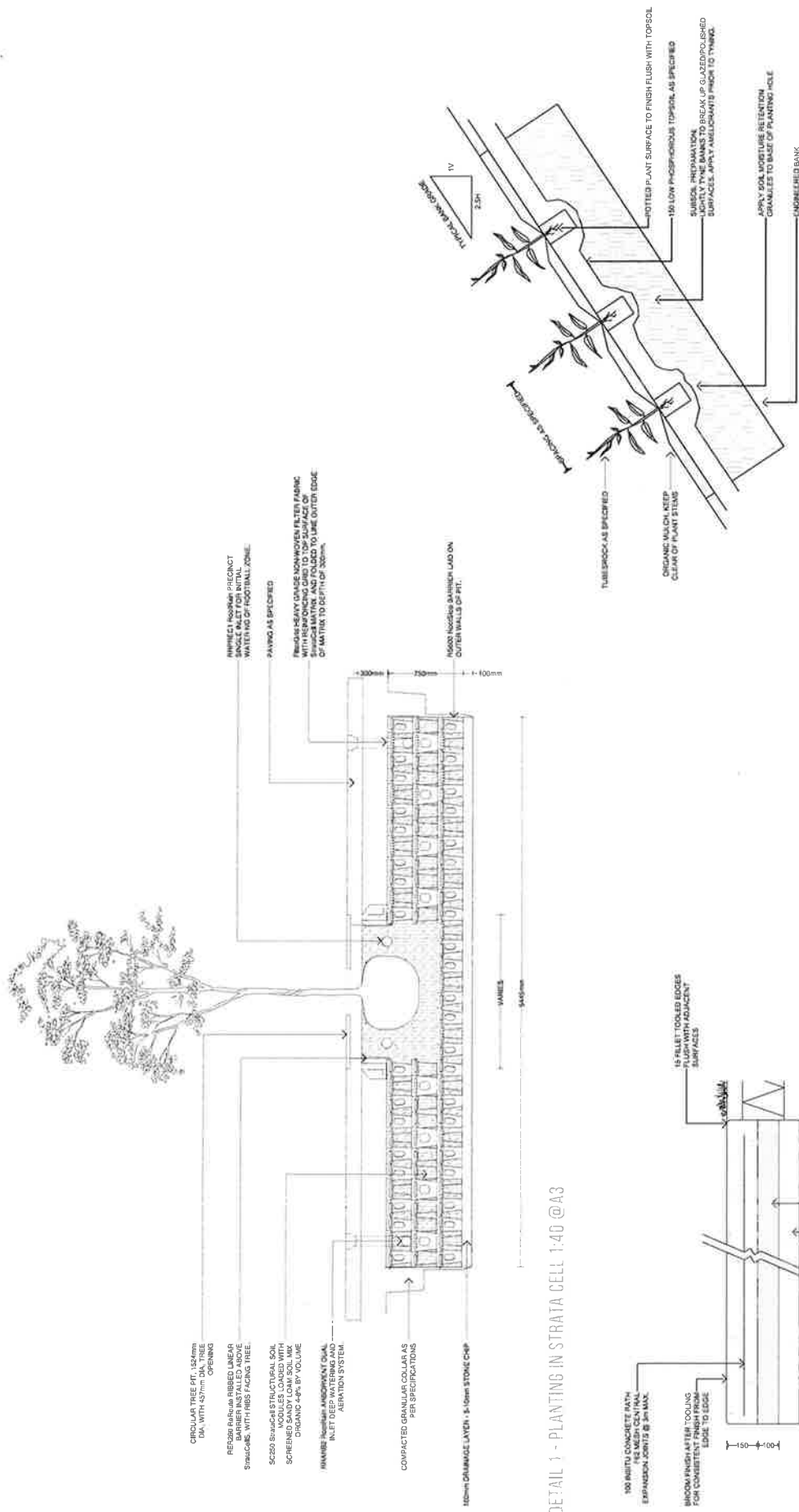
KEY PLAN



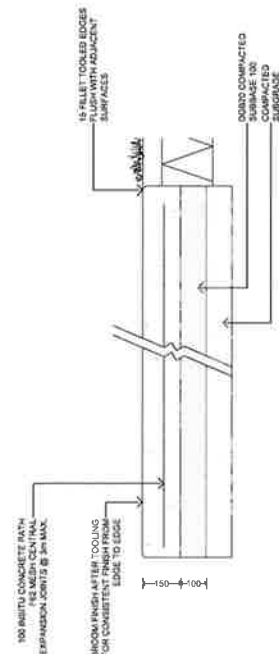
2. StrataVault structural soil solution to be used in areas which pose issues between hard surfaces & trees. To ensure adequate soil volume for healthy tree growth Refer to civil chainage 160,000 along Southern Road for technical details



PUBLIC DOMAIN TYPICAL DETAILS



DETAIL 1 - PLANTING IN STRATA CELL 1-40 @A3



DETAIL 2 - CONCRETE PATH 1:20 @ A3

DETAIL 3- PLANTING ON EMBANKMENT 1:20 @A3

PUBLIC DOMAIN PLANTING SCHEDULE

BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	POT SIZE	DENSITY	QUANTITY
TREES						
Araucaria cunninghamii	Hoop Pine	20m	10m	700lt bag	as shown	4
Jacaranda mimosaefolia	Jacaranda	12m	8m	700lt bag	as shown	3
Platanus orientalis 'Digitata'	Plane Tree	15m	10m	700lt bag	as shown	9
Pyrus calleryana 'Chanticleer'	Callery Pear	12m	6m	700lt bag	as shown	24
Tristanopsis laurina	Water Gum	12m	6m	700lt bag	as shown	6

BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	POT SIZE	DENSITY
SHRUBS					
Callistemon viminalis 'Little John'	Bottle Brush	1.0m	1.5m	200mm pot	1.5m Centers
Dietes grandiflora	Dieries	1.2m	1.2m	200mm pot	4/m2
Gardenia florida	Gardenia	1.5m	2.0m	200mm pot	1m Centers
Loropetalum chinense	Chinese Fringe Flower	1.5m	2.0m	200mm pot	4/m2
Strobilanthes anisophyllus	Goldfussia	1.2m	0.8m	200mm pot	1m Centers
GROUNDCOVERS					
Dionella caerulea	Blue Flax Lily	0.5m	0.5m	140mm pot	6/m2
Liriope muscari 'Evergreen Giant'	Liriope	0.5m	0.7m	140mm pot	6/m2
Lomandra longifolia 'Tanika'	Lomandra	0.5m	0.5m	140mm pot	6/m2
WSUD SPECIES					
Carex appressa	Tall Sedge	1m	0.8m	140mm pot	6/m2
Dionella revoluta	Flax Lily	0.4m	0.3m	140mm pot	6/m2
Ficinia nodosa	Knobby Club Rush	0.8m	0.6m	140mm pot	6/m2

PLANTING DESCRIPTION

TREE PLANTING STRATEGY

Tree planting in the public domain will provide a visual amenity and variety in colour and form. Planting design is conscious of the CoP Public Domain Guidelines & the CoP Street Tree Plan. In regards to tree planting, more specifically street trees along NSR-2 will be a combination of avenue plantings. An avenue of Araucaria heterophylla at 10m centres will be planted along the central median. At either side of the footpath plantings of Platanus orientalis 'digitata' at 10m centres to form a secondary avenue. NSR-2 will also facilitate the inclusion of WSUD blower elements south of EWR-4, which will be detailed in future stages of the development.

UNDERSTORY PLANTING STRATEGY

Planting in the public domain will consist of a variety of native & exotic species, to provide a balance of colour form and variety. Understory planting typologies in the streetscape will include buffers to the carriage way, under planting to trees, feature beds & creating and dividing spaces along the length of NSR-2.

WSUD PLANTING STRATEGY

WSUD will be utilised along the length NSR-2 south of EWR-4. WSUD will aim to catch & treat contaminants & sediments in storm water and run off from the streets and residential developments. Final intentions for WSUD across the site is a functional, effective and engaging system for residents and the development.

PLANTING PALETTE



PUBLIC DOMAIN LANDSCAPE CHARACTER



ACTIVE & INCLUSIVE

Streets & the wider public domain will provide a range of opportunity for recreational & passive activities, which will address the diverse needs of the growing community at Melrose Park.



SUSTAINABLE & ROBUST

Elements in the public domain will be well suited for the sites specific needs, ensuring quality and long term durability. WSUD initiatives will characterise the streetscape along with lush canopy cover.



UNIQUE & ENGAGING

Streets & the wider public domain will set a precedent of quality design through program, planting and materiality. Design will encourage residents and the wider community to engage in the landscape, streets and public domain.



SAFE & ACCESSIBLE

The design of the public domain recognises the principles of Crime Prevention through Environmental design and aims to encourage activation day & night. Design is wary of and will cater to all users ages & conditions living within the development and a part of the wider community.

